



**REGULAR MEETING OF COMMUNITY APPEARANCE BOARD**  
**AMENDED**

**APRIL 21, 2026 - 5:30 PM**

**MUNICIPAL COURTROOM**  
**2222 HIGHMARKET STREET**  
**GEORGETOWN, SOUTH CAROLINA**

Notice of this meeting has been made in accordance with the South Carolina Code of Laws as amended.

**I. CALL TO ORDER**

**II. APPROVAL OF MINUTES**

- A. Approval of Minutes from the March 17, 2026 Community Appearance Board Regular Meeting

**III. PUBLIC INPUT ON NON-AGENDA ITEMS**

**IV. OLD BUSINESS**

- A. **CAB-2025-0012 - Request: Fence.** Request to revise previous approval regarding location and design of fence for commercial properties located at 507 Church St., and 527 Church St. (TMS#: 05-00030-017-00-00, TMS#: 05-0030-016-00-00), within the GC Zoning District and the Urban Core Design Overlay.
1. Staff Presentation
  2. Applicant Presentation (*5 minute time limit*)
  3. Public Input (*Chairman to determine time limit*)
  4. Applicant Reply
  5. Motion and Board Discussion

**V. NEW BUSINESS**

- A. **CAB-2026-0001 - Request: New Construction.** Request to establish a new 2,500 sq ft accessory structure on the rear of a commercial structure and to maintain a 10 ft setback rather than a 15 ft rear buffer for a commercial property located at 802 Church St. (TMS#: 05-0027-025-00-00), within the GC Zoning District and the Urban Core Design Overlay.
1. Staff Presentation
  2. Applicant Presentation (*5 minute time limit*)
  3. Public Input (*Chairman to determine time limit*)
  4. Applicant Reply
  5. Motion and Board Discussion
- B. **CAB-2026-0002 - Request: Sign.** Request to establish two new signs on the front and side elevations of a commercial structure located at 407 Church St. (TMS#: 05-0030-038-00-00), within the GC Zoning District and the Urban Core Design Overlay.
1. Staff Presentation

2. Applicant Presentation *(5 minute time limit)*
3. Public Input *(Chairman to determine time limit)*
4. Applicant Reply
5. Motion and Board Discussion

**C. Approval of revised 2026 Application Agenda.**

1. Staff Presentation
2. Public Comment
3. Motion and Board Discussion

**VI. BOARD DISCUSSION**

**VII. MOTION TO AUTHORIZE CHAIRMAN AND STAFF TO TYPE HANDWRITTEN CHANGES  
ON THE ORDERS OF THE BOARD**

**VIII. ADJOURNMENT**

MAYOR  
JAY DOYLE

CITY ADMINISTRATOR  
SCOTT WHITTIER

CITY CLERK  
STEPHANIE BUCCIONE



COUNCIL MEMBERS  
MAYOR PRO TEMPORE  
JESSIE WALKER

BRUCE CARL  
ERIN ETHRIDGE  
TAMIKA WILLIAMS-OBENG  
SHARON MELTON  
HOBSON HENRY MILTON

Planning and Community Development  
(843) 545-4010

## CITY OF GEORGETOWN COMMUNITY APPEARANCE BOARD

**MEETING DATE:** April 21, 2026

**AGENDA ITEM:** CAB-2025-0012 - **Request:** Fence. Request to revise previous approval regarding location and design of fence for commercial properties located at 507 Church St., and 527 Church St. (TMS#: 05-00030-017-00-00, TMS#: 05-0030-016-00-00), within the GC Zoning District and the Urban Core Design Overlay.

Description of Proposal:

Installation of Fence

### **CURRENT STATUS:**

1. The properties are owned by Altman Georgetown Properties LLC.
  - a. The applicants have provided staff with a copy of the contract for the newly purchased property.
2. One property is zoned General Commercial (GC), the second property is split zoned General Commercial (GC)/High Density Residential (R4) (*Reference item 1*).
3. The properties are within the Urban Core Design Overlay District and the Historic Buildings District (*Reference item 1*).
  - a. Authority over alterations to these properties fall to the Community Appearance Board (*see applicable UCOD Guidelines Section 2152*).
  - b. There is a Historic District survey on file for these properties (*surveys included within packet*).
4. The 2040 Comprehensive Plan shows these properties as Corridor Commercial (*Reference item 2*).
5. This property is within a shaded x flood zone (*Reference item 3*).
  - a. No additional flood codes applicable.
6. The intended use of the property is commercial.

### **APPLICABLE UCOD GUIDELINES:**

#### **2152 Community Appearance Board Review (CAB)**

The CAB shall have jurisdiction over the exterior improvements or changes to multi-family and nonresidential developments within the jurisdictional boundaries of the UCOD. For parcels that are located in the Historic District and in the UCOD, the following shall be determinative as to jurisdiction:

**2152.101** Proposed projects that are on Contributing and non-contributing properties that are strictly a single-family use shall be presented to the ARB including demolitions of a single-family use.

**2152.102** All other proposed projects for two-family, multi-family, mixed-use or non-residential uses shall be presented to the CAB. When a project proposes to convert a single-family use to another use, the ARB shall have jurisdiction over a demolition request, and the CAB shall have jurisdiction over the proposed new construction.

### **2163 Architectural Design Standards**

All proposed structures will contribute to the image of the City of Georgetown as a unique place of visual character, integrity and quality. Creativity in design is encouraged as a complement to the historic character of the City of Georgetown. Use of contemporary materials or original design elements may not be the basis of denying an application. Structures shall meet all applicable Building Code requirements in addition to the following:

**2163.109** Fences and walls may be approved subject to the approval of the CAB. Fences and walls should not block views of natural areas from public rights-of-way and should incorporate transparent elements within the design. No fence or wall may exceed six (6) feet in height. Materials should be durable and be harmonious with the overall materials and design scheme of the principal building. Chain link, barbed wire, and other inappropriate fence materials shall not be approved.

### **APPLICABLE ZONING CODES:**

#### **404.2 Urban Core Overlay District**

It is the intent of this district to delineate a design overlay through the main corridors. The purpose of establishing this overlay is to identify areas of the City which reflect the culture of the City of Georgetown, protect and enhance the aesthetic and visual character of all commercial and residential development within the overlay district, promote the cultural, economic and general welfare of the people of Georgetown, foster civic pride, encourage harmonious, orderly and efficient growth and development of the City of Georgetown, and improve property values.

#### **801 Buildings and Structures Allowed in Front of the Principal Building.**

The requirement that all accessory buildings and structures are required to be located behind the principal building shall not apply to fences, gasoline service station fuel pump canopies, and signs.

#### **803 Fences**

##### **803.1 Height.**

Fences shall not exceed eight feet in height in R-1, R-2, R-3, R-4 and MR Districts. The maximum height for fences in the IC, CC, GC, LI, and HI Districts shall be twelve feet.

##### **803.2 Adequate light and air:**

Fences which are located outside of the normal building setback area that are greater than six feet in height shall be required to be constructed so that opacity levels do not exceed seventy-five per cent. Fences which are constructed within building setback areas may be one hundred per cent opaque.

##### **803.3 Historic Buildings District:**

Any fence proposed to be located within the Historic Buildings District shall be reviewed and approved by the Board of Architectural Review prior to construction or erection.

#### **804 Vision Clearance**

In all zoning districts established by this Ordinance, except the Core Commercial District and Intermediate Commercial District, no fence, wall, shrubbery, sign, sign structure, building or other obstruction to vision between the height of three feet and ten feet above finished street grade shall be located within the triangular area created by connecting points located on the property line a distance of ten feet and forty feet, respectively, from the corner of all intersections, including driveway intersections.

#### **906 Buildings and Structures Allowed in Front of the Principal Building.**

The requirement that all accessory buildings and structures are required to be located behind the principal building shall not apply to fences, gasoline service station fuel pump canopies, and signs.

#### **1102 Screening**

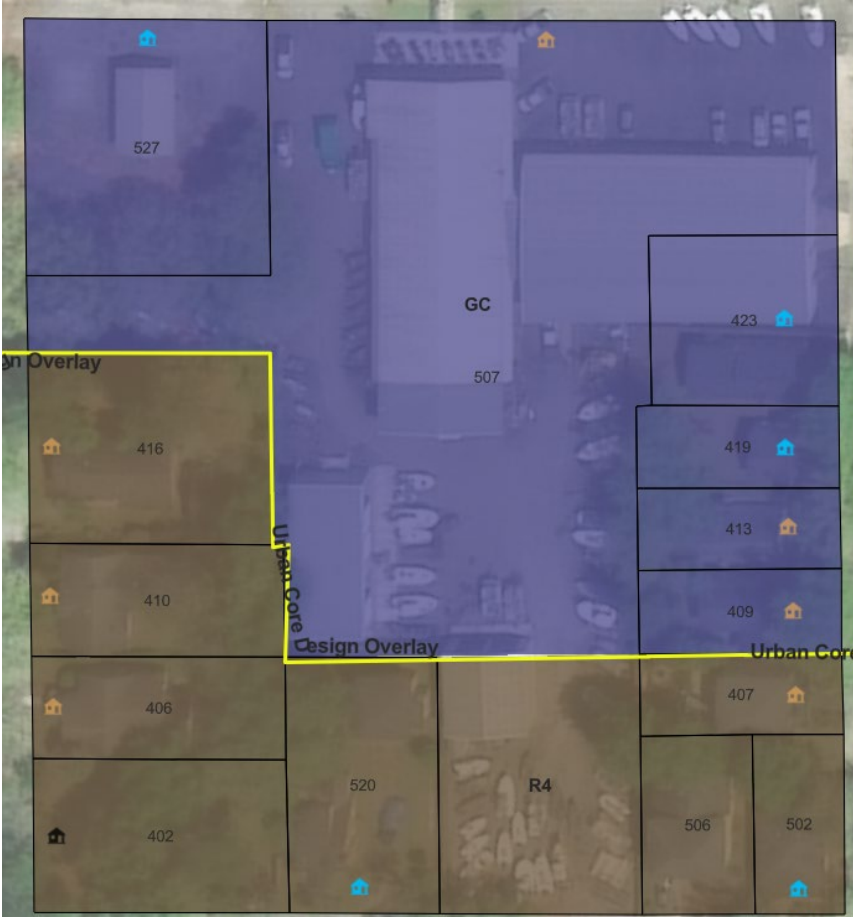
When a commercial or industrial use abuts or is contiguous to a residential use located in any residential district, such commercial or industrial use shall, in addition to meeting the minimum yard requirements of this Ordinance, provide or otherwise establish and maintain an evergreen buffer or screening strip eight feet in width and running the length of the boundary line separating the two uses, or erect and maintain a six foot high masonry or wood fence along the property line between the two uses. This buffer shall not infringe on sight distance at intersections.

**OPTIONS:**

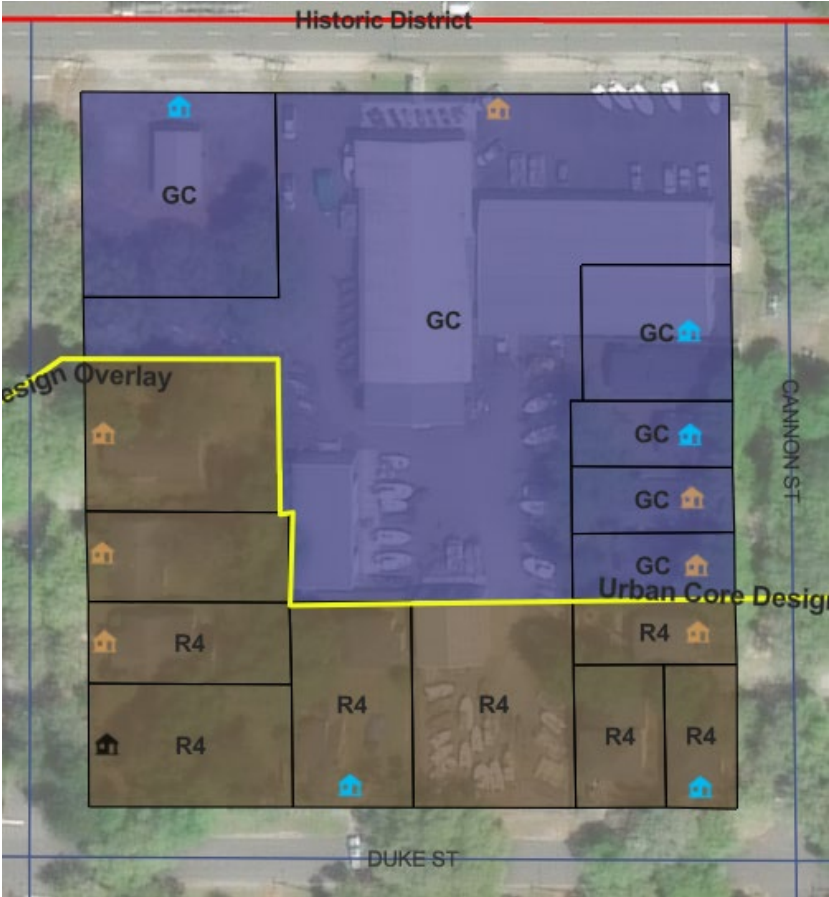
1. Approve request as submitted by applicant.
2. Approve application with conditions imposed by the Community Appearance Board.
3. Deny request.
4. Defer request for more information. *(A time frame for deferral must be agreed upon between the board and the applicant)*

**REFERENCE MATERIALS**

**REFERENCE ITEM 1:** City of Georgetown Zoning Map

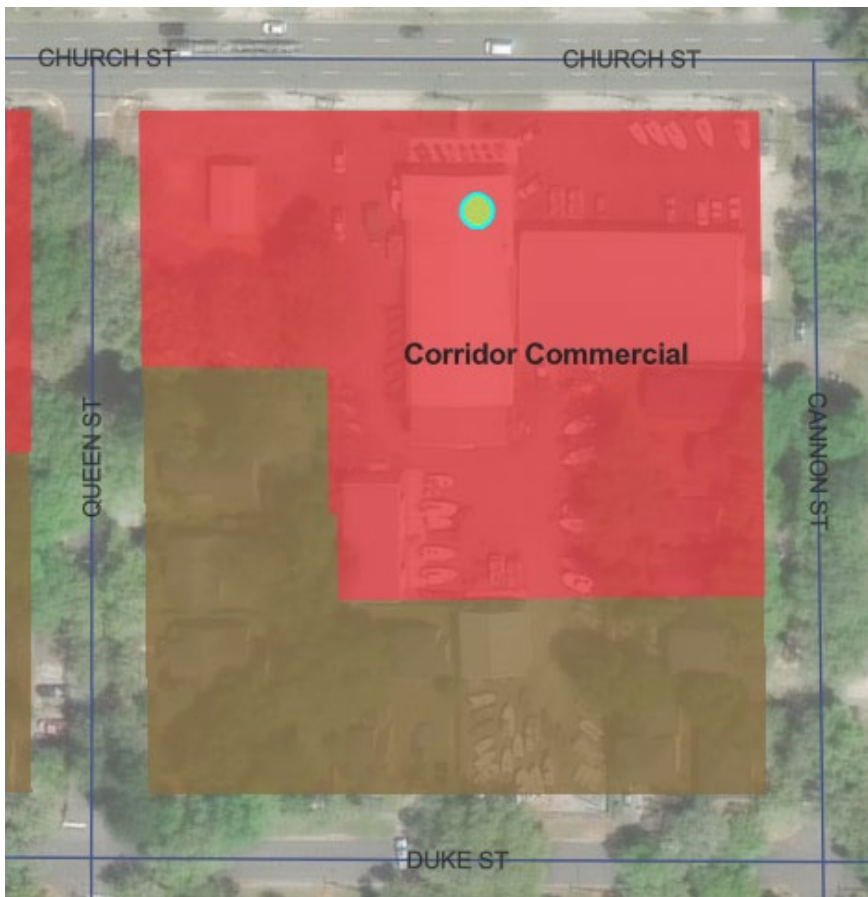


Parcel View



Block View

**REFERENCE ITEM 3:** Future land use designation.



**REFERENCE ITEM 4:** FEMA Flood Map.



*Please note, Fourrunner parcel lines and addresses may not be up to date.*

**Statewide Survey of Historic Properties**  
State Historic Preservation Office  
South Carolina Department of Archives and History  
8301 Parklane Rd.  
Columbia, SC 29223-4905 (803) 896-6100

Control Number: U / 43 / 191-0781  
Status County No Site No  
Quad Name: Georgetown South  
Tax Map No.: 05-0030-017-00-00

***Intensive Documentation Form***

**Identification**

Historic Name:

Common Name: Bay View Motors

Address/Location: 507 Church Street

City: Georgetown County: Georgetown

Vicinity of:

Ownership: Private Category: building

Historical Use: Commerce/Trade

Current Use: Commerce/Trade

**National Register of Historic Places Information**

SHPO National Register Determination: Not Eligible

Notes on National Register Status: This resource dates from after 1960 and is a non-contributing resource in the Georgetown Historic District.

Other Designation:

**Property Description**

Construction Date: 1970 Commercial Form: other Stories: 1 story

Alteration Date: Historic Core Shape: rectangular

*Roof Features*

Shape: gable, end to front

Materials: raised seam metal

*Porch Features*

Porch Width:

Shape:

Construction Method: frame

Exterior Walls: other

Foundation: slab construction

Significant Architectural Features: walls clad with metal panels, 1-light display windows, left side elevation features multiple maintenance bays.

Alterations:

Architect(s)/Builder(s):

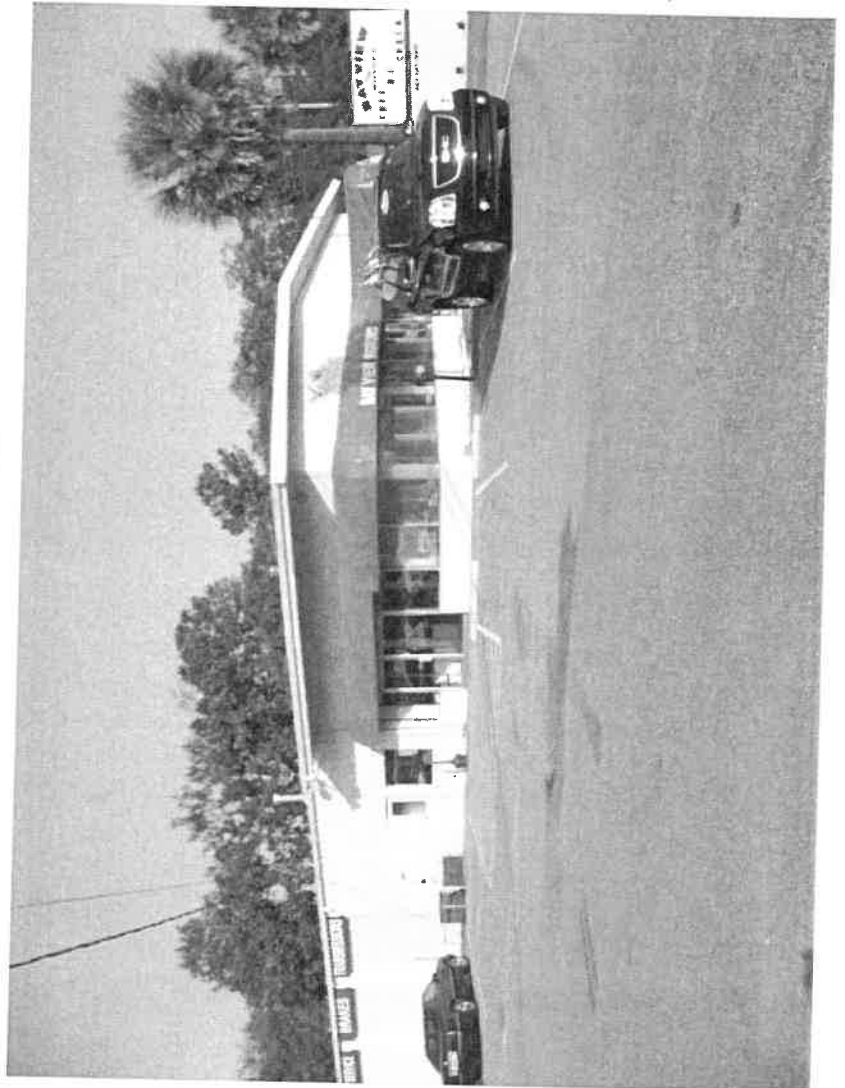
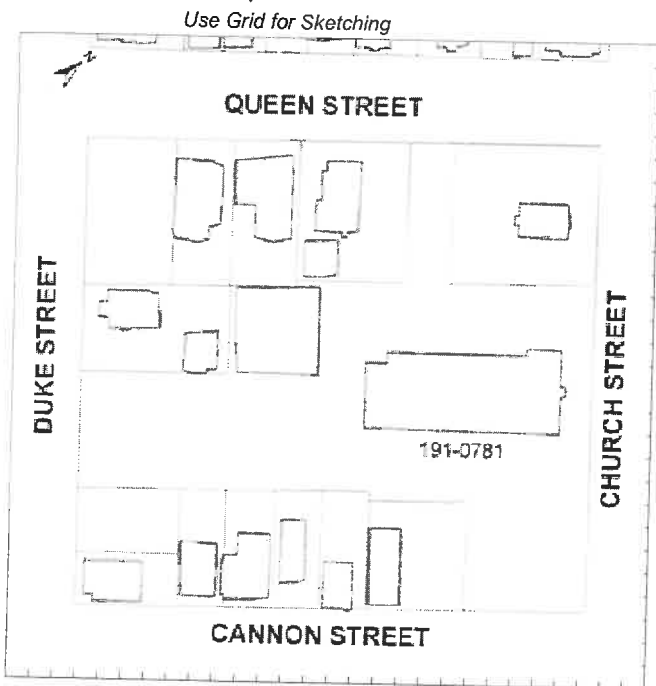
**Historical Information**

Historical Information:

Source of Information:

**Photographs**

Roll No. Neg. No. View of  
Façade and Side Elevation, Looking N



**Program Management**

Recorded by: Ellen Jenkins (TRC)

Date Recorded: 6/24/2010

**Statewide Survey of Historic Properties**  
State Historic Preservation Office  
South Carolina Department of Archives and History  
8301 Parklane Rd.  
Columbia, SC 29223-4905 (803) 896-6100

Control Number: U / 43 / 191-0782  
Status County No Site No  
Quad Name: Georgetown South  
Tax Map No.: 05-0030-016-00-00

***Intensive Documentation Form***

**Identification**

Historic Name:

Common Name: Hertz Rental Cars

Address/Location: 527 Church Street

City: Georgetown

County: Georgetown

Vicinity of:

Ownership: Corporate

Category: building

Historical Use: Commerce/Trade

Current Use: Commerce/Trade

**National Register of Historic Places Information**

SHPO National Register Determination: Contributes to Listed District

Notes on National Register Status: This resource was constructed after the Georgetown National Register Historic District's period of significance; however it would be a contributing resource if the historic district's period of significance is expanded to include the 1922-1960 period.

Other Designation:

**Property Description**

Construction Date: 1960

Commercial Form: other

Stories: 1 story

Alteration Date:

Historic Core Shape: rectangular

*Roof Features*

Shape: gable, end to front

Materials: composition shingle

*Porch Features*

Porch Width:

Shape:

Construction Method: masonry

Exterior Walls: brick veneer

Foundation: slab construction

Significant Architectural Features: side elevations comprised of concrete block, 3-light display windows in brick planters, angled brick wall on façade, single-leaf door with transom.

Alterations:

Architect(s)/Builder(s):

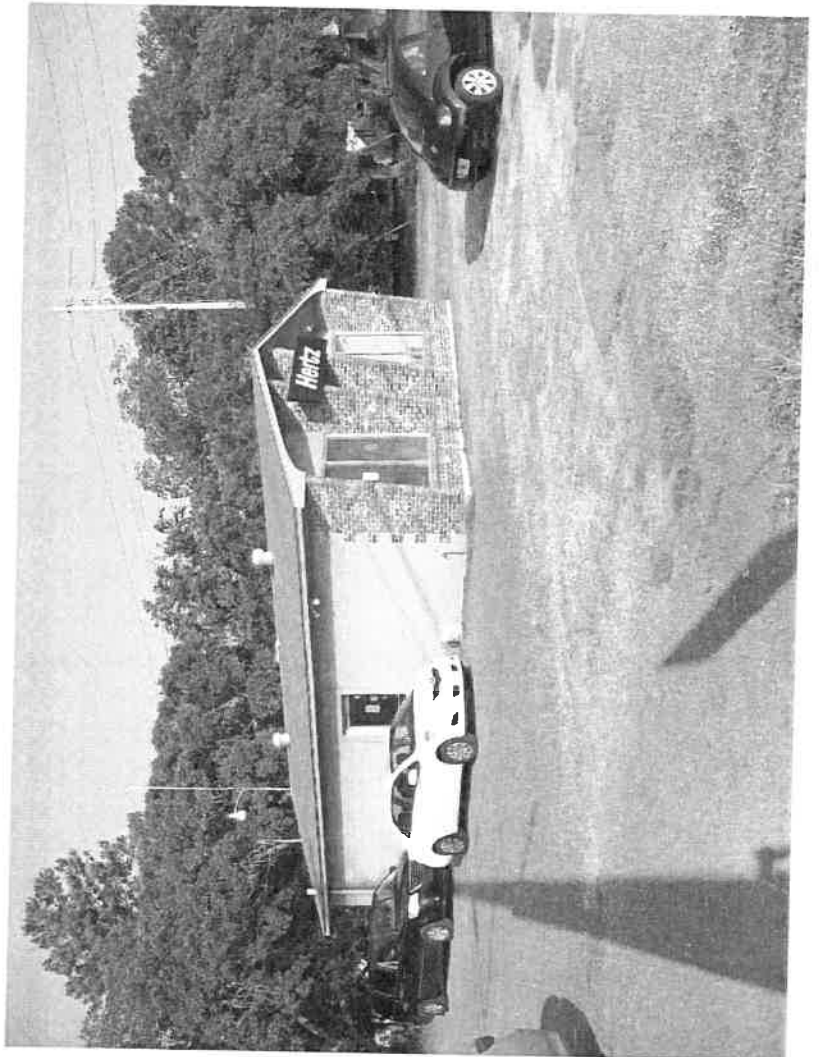
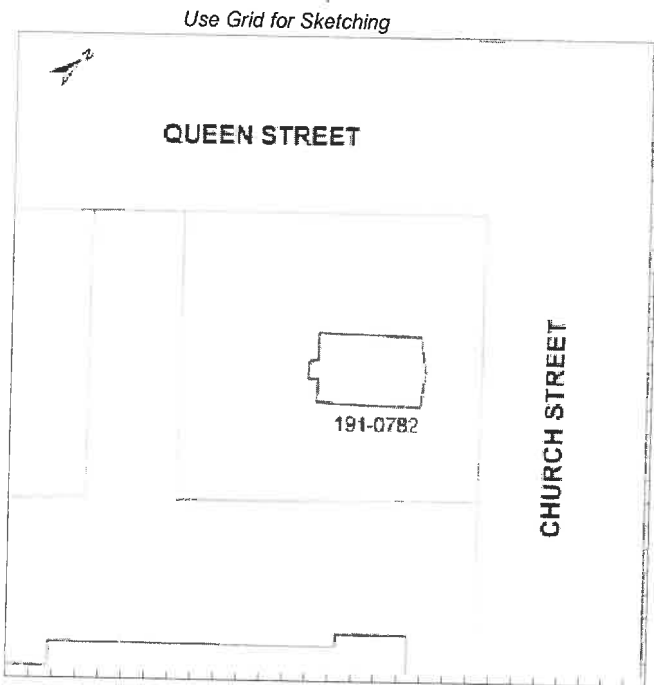
**Historical Information**

Historical Information:

Source of Information:

**Photographs**

Roll No.	Neg. No.	View of
		Façade and Side Elevation, Looking
		Façade and Side Elevation, Facing SE



**Program Management**

Recorded by: Ellen Jenkins (TRC)

Date Recorded: 6/24/2010

191-0782: 527 Church Street



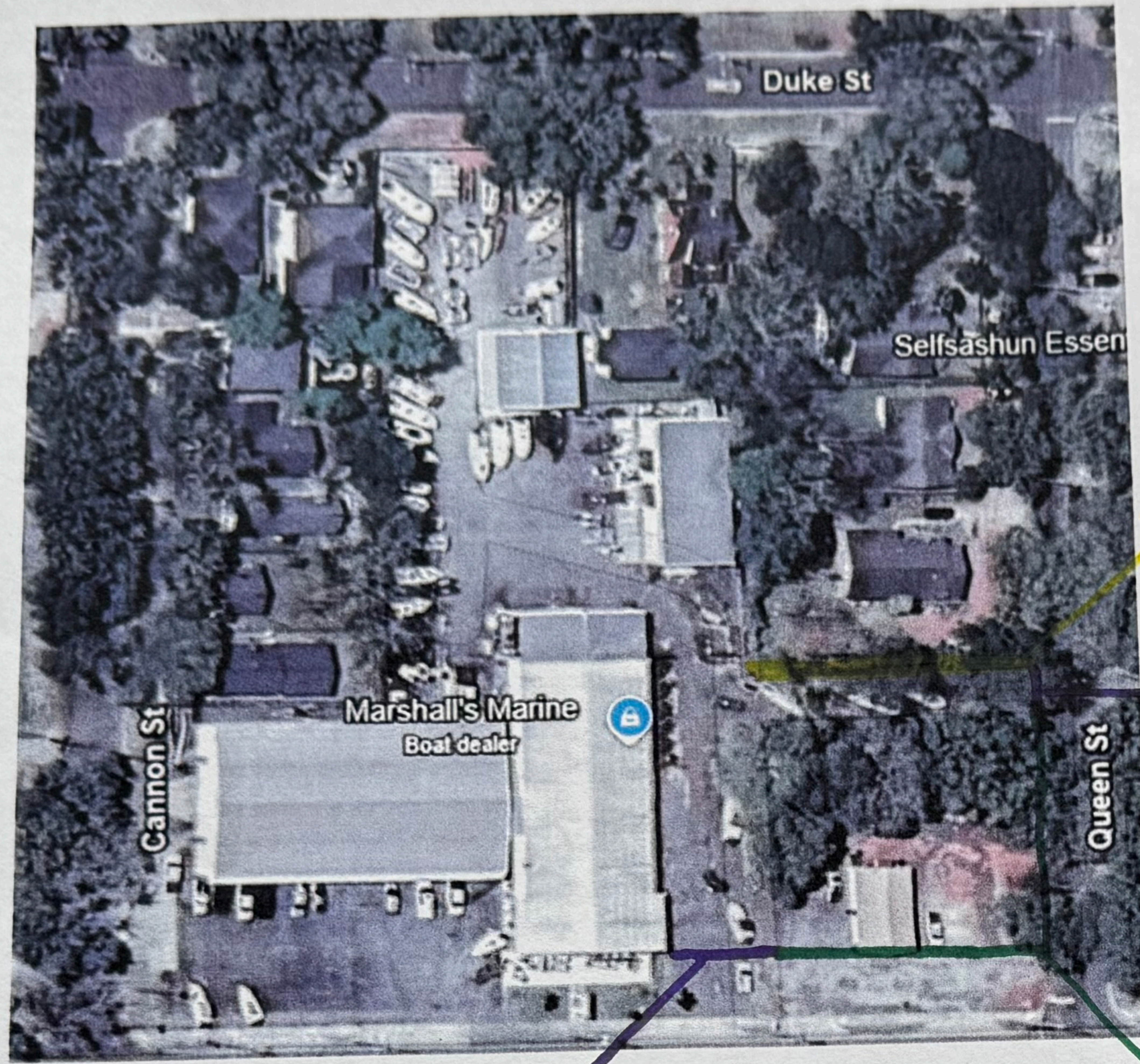




CAB-2025-0012



CAB-2025-0012



CAB-2025-0012



MAYOR  
JAY DOYLE

CITY ADMINISTRATOR  
SCOTT WHITTIER

CITY CLERK  
STEPHANIE BUCCIONE



COUNCIL MEMBERS  
MAYOR PRO TEMPORE  
JESSIE WALKER

BRUCE CARL  
ERIN ETHRIDGE  
TAMIKA WILLIAMS-OBENG  
SHARON MELTON  
HOBSON HENRY MILTON

Planning and Community Development  
(843) 545-4010

## CITY OF GEORGETOWN COMMUNITY APPEARANCE BOARD

**MEETING DATE:** April 21, 2026

**AGENDA ITEM:** CAB-2026-0001 - **Request: New Construction.** Request to establish a new 2,500 sq ft accessory structure on the rear of a commercial structure and to maintain a 10 ft setback rather than a 15 ft rear buffer for a commercial property located at 802 Church St. (TMS#: 05-0027-025-00-00), within the GC Zoning District and the Urban Core Design Overlay.

Description of Proposal:

5,250 sqft "Residential style" building,  
black shingles with Harbor Mist Gray  
Standing Seam Metal Accents.

Additional Comments:

we are requesting permission to maintain a 10'  
instead of 15' rear buffer. Residential look  
and we'd be happy to landscape.

### CURRENT STATUS:

1. The property is owned by CGS Holdings LLC.
2. The property is zoned General Commercial (GC) (*Reference item 1*).
3. The property is within the Urban Core Design Overlay District (*Reference item 1*).
4. The 2040 Comprehensive Plan shows this property as Neighborhood Residential (*Reference item 2*).
5. This property is within a shaded x flood zone (*Reference item 3*).
  - a. No additional flood codes applicable.
6. The applicant does have a special exception request submitted to the Board of Zoning Appeals to allow for the establishment of this structure:
  - a. **Special Exception. V#2026-0007.** Special Exception request to allow for the establishment of a structure to accommodate short-term lodging of employees on a commercial property located at 802 Church St. (TMS#: 05-0027-025-00-00), within the General Commercial (GC) Zoning District.
7. The intended use of the property is commercial.

### APPLICABLE UCOD GUIDELINES:

#### **2145 Rear Setback.**

When a property within the UCOD shares a rear property line with a residential use or residential zone district, the rear setback shall be a minimum of fifteen (15) feet.

### **2149 Lowcountry Architectural Features encouraged.**

The building and site design should incorporate elements of Lowcountry style architecture. Some elements of Lowcountry Style architecture include but are not limited to large overhanging eaves, outdoor seating areas, chimneys, functional shutters, large windows, joggling boards, rocking chairs, high ceilings, metal roofs, large shade trees, and the use of transoms with a window above and a door below.

### **2153 Site Design Standards**

**2153.2** The relationship of structures to their environment, and the location and design of driveways, parking, and circulation areas shall be given special consideration. Proposed structures shall be sited to relate harmoniously to the terrain and to existing structures in the vicinity that have a visual relationship to the proposed structures. However, creative and unique design elements that do not exist on adjacent or nearby properties are not a basis for denial but may be incorporated into a building in a manner that complements the district. The achievement of such relationship may include the enclosure of space in conjunction with other existing buildings or other proposed buildings, and the creation of focal points with respect to avenues of approach, terrain features, or other buildings. With respect to vehicular and pedestrian circulation, including walkways, interior drives, and parking, special attention shall be given to location and number of access points, general interior circulation, separation of pedestrian and vehicular traffic, and arrangement of parking areas that are safe and convenient and, in so far as creative and unique design elements can be encourage, do not detract from the design of proposed buildings and structures and the neighboring properties.

### **2159 Requirements for Landscape Buffers**

The following apply to all landscape buffers within the UCOD:

**2159.1** Subject parcel boundaries adjacent to delineated wetlands shall have a required minimum buffer of twenty (20) feet.

**2159.2** Required perimeter landscape may be grouped to ensure visibility and to allow for creativity. Equal spacing of plant materials shall not be required.

**2159.3** Existing trees, regardless of classification may be counted toward requirements for shade trees or ornamental trees provided such trees are a minimum of 5" inches in caliper, in good health, and located in the approximate area as required.

**2159.4** Shade Trees: Any deciduous or leaf bearing tree that reaches a mature height in excess of forty (40) feet. Shade trees shall be a minimum of three (3) inches in caliper and ten (10) to twelve (12) feet in height at the time of installation.

**2159.5** Ornamental trees: Any deciduous or evergreen tree that has a particular ornamental characteristic and tends to have a mature height less than that of a shade tree. The ornamental characteristics of such trees may include a distinctive shape, color, flower, or limb configuration. Ornamental trees shall be a minimum of one and one half (1.5) inches in caliper and six (6) to eight (8) feet in height at the time of installation.

**2159.6** Shrubs: Shrubs shall be a minimum of three (3) gallons in size and/or one and one half (1.5) feet in height at the time of installation.

**2159.7** Groundcover: Groundcover shall consist of grass, turf, sod, ivy, bulbs, potted flowers, and bedding plants. Pebbles, wood chips, bark, mulch, straw and similar materials may be used in conjunction with groundcover to delineate planting beds, but in no instance shall such materials be used for the purpose of sidewalks, parking areas, or driveways. Areas dedicated for lawns shall be cleared of debris, graded level, and covered with sod, turf, or grass seed.

**2159.8** When the configuration of a structure and parking area are such that the required landscaping set forth herein has to be placed under overhead utility services, consideration shall be given to the estimated mature height or required plant materials. Substitutions of plant materials or types (i.e. shade trees) when needed due to overhead utilities may be replaced with ornamental trees.

**2159.9** No structures or portions of structures (except public utility services) shall be permitted in a required landscape buffer unless otherwise provided in these standards. Ingress and egress, mailboxes, and signage may be permitted within required landscape subject to the approval of the CAB

**2159.10** The owner, occupant, tenant, or agent shall be jointly and severally responsible for the maintenance of all landscaping. Landscaping shall be maintained in good condition so as to present a healthy, neat and orderly appearance. Proper maintenance shall include watering, weeding, mowing, mulching, fertilizing, and pruning. Any dead, dying, or damaged landscaping material shall be promptly replaced with materials of an approved size and type.

### **2163 Architectural Design Standards**

All proposed structures will contribute to the image of the City of Georgetown as a unique place of visual character, integrity and quality. Creativity in design is encouraged as a complement to the historic character of the City of

Georgetown. Use of contemporary materials or original design elements may not be the basis of denying an application. Structures shall meet all applicable Building Code requirements in addition to the following:

**2163.101** Building features and appearance. The shape, configuration, design, color, and types of material of proposed buildings, and/or alterations and additions to existing buildings, must establish an identifiable character for the development and not detract from neighboring properties. To this end, all elevations of a building must be in harmony with one another in terms of scale, proportion, detail, material, color, and design quality, and all buildings and accessory structures within a proposed development, including gasoline canopies, must be designed to create a harmonious whole. The use of loud, garish colors must be avoided except when the use of colors so characterized is essential for creating a successful design which complies with all other standards.

**2163.102** The use of proper site design, architectural features, and/or landscaping to reduce the appearance of excessive height or mass of proposed structures should be utilized to make the development compatible with adjacent and nearby developments. Long, monotonous facade designs including, but not limited to those characterized by unrelieved repetition of shape or form or by unbroken extension of line shall be avoided. Ornamentation should complement the overall design and avoid visual clutter.

**2163.103** On-site electric, telephone, and other utility lines shall be underground.

**2163.104** Special features and accessory structures including storage areas, exposed machinery installations, service areas, truck loading areas, utility building and structures and similar accessory areas shall be subject to such design standards, setbacks, screen plantings, or other screening methods as shall reasonably be required by the CAB to prevent their being incongruous with the existing or contemplated environment and the surrounding properties. **2163.105** The use of a parapet may be utilized and may extend beyond the maximum height limit but may not be extended beyond the height of any elevator shaft subject to approval of the CAB.

**2163.106** Appropriate exterior materials include finished wood, brick, shake shingles, hard plank, stone, stucco and split face block. The use of corrugated metal, unfinished wood, T1-11, and vinyl siding are not allowed exterior materials in the UCOD.

**2163.107** Shingles, metal standing seam, tile, terracotta, slate or other durable, long-lasting roofing materials are allowed.

**2163.108** Shutters, when incorporated into the design of a building, should be functional and made of complementary materials and of a complementary design to the overall building.

**2163.109** Fences and walls may be approved subject to the approval of the CAB. Fences and walls should not block views of natural areas from public rights-of-way and should incorporate transparent elements within the design. No fence or wall may exceed six (6) feet in height. Materials should be durable and be harmonious with the overall materials and design scheme of the principal building. Chain link, barbed wire, and other inappropriate fence materials shall not be approved.

**2163.1010** The color palette should be complementary. Colors should be limited to no more than three except in extraordinary circumstances where the architectural design of the building is enhanced by additional colors.

#### **APPLICABLE ZONING CODES:**

##### **404.2 Urban Core Overlay District**

It is the intent of this district to delineate a design overlay through the main corridors. The purpose of establishing this overlay is to identify areas of the City which reflect the culture of the City of Georgetown, protect and enhance the aesthetic and visual character of all commercial and residential development within the overlay district, promote the cultural, economic and general welfare of the people of Georgetown, foster civic pride, encourage harmonious, orderly and efficient growth and development of the City of Georgetown, and improve property values.

#### **OPTIONS:**

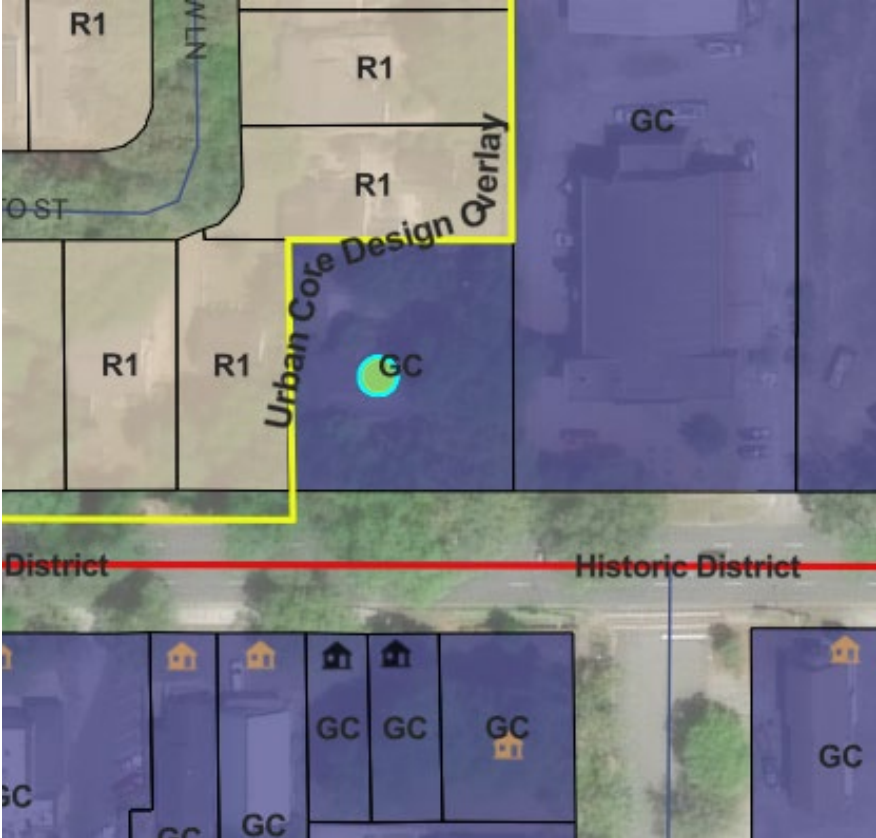
1. Approve request as submitted by applicant.
2. Approve application with conditions imposed by the Community Appearance Board.
3. Deny request.
4. Defer request for more information. *(A time frame for deferral must be agreed upon between the board and the applicant)*

**REFERENCE MATERIALS**

**REFERENCE ITEM 1:** City of Georgetown Zoning Map

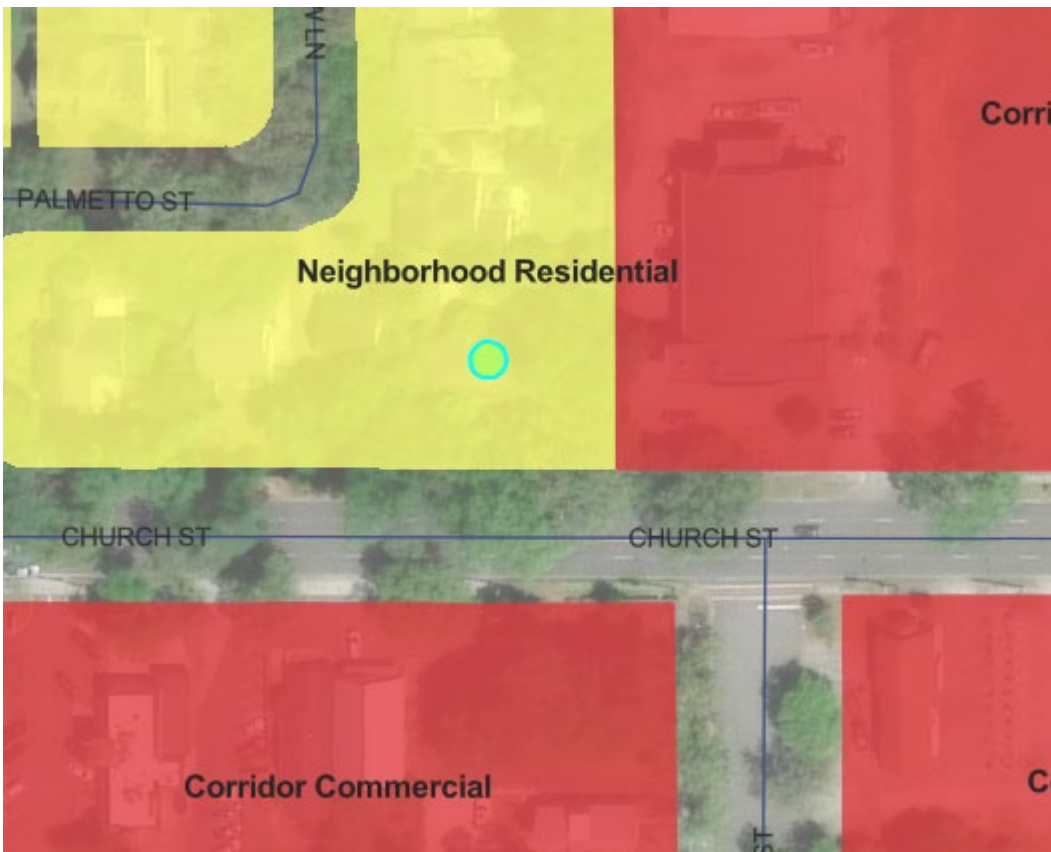


Parcel View



Block View

**REFERENCE ITEM 3:** Future land use designation.



**REFERENCE ITEM 4:** FEMA Flood Map.




*Please note, Fourrunner parcel lines and addresses may not be up to date.*


**802 CHURCH ST - BRICK**



TRIANGLE BRICK  
OAKTON

## 802 CHURCH ST – SIDING

 James Hardie < > ⋮ ×



ColorPlus® Technology: the facts behind the finish | James ... [Visit >](#)

## 802 CHURCH ST - METAL ROOF (SHINGLE HD BLACK)



Best Seller



GAF

**Timberline HDZ Charcoal Algae Resistant Laminated High Definition Shingles (33.33 sq. ft. per Bundle)**

★★★★★ (19798) Questions & Answers (339)

Covers 33.33 pieces

**BULK PRICE** **\$41.47** /bundle (\$1.24 /piece)

Buy 36 or more **\$37.32**

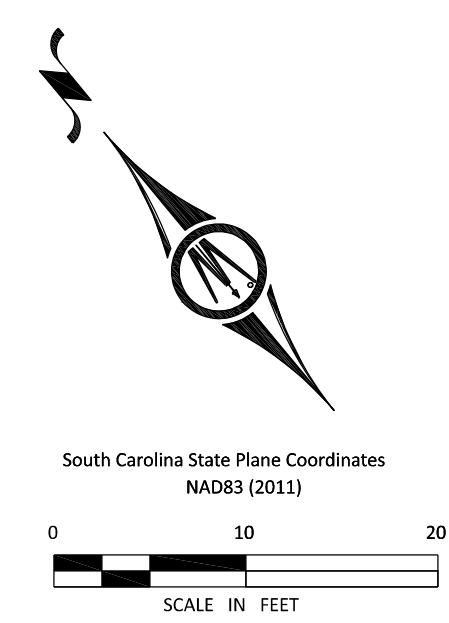
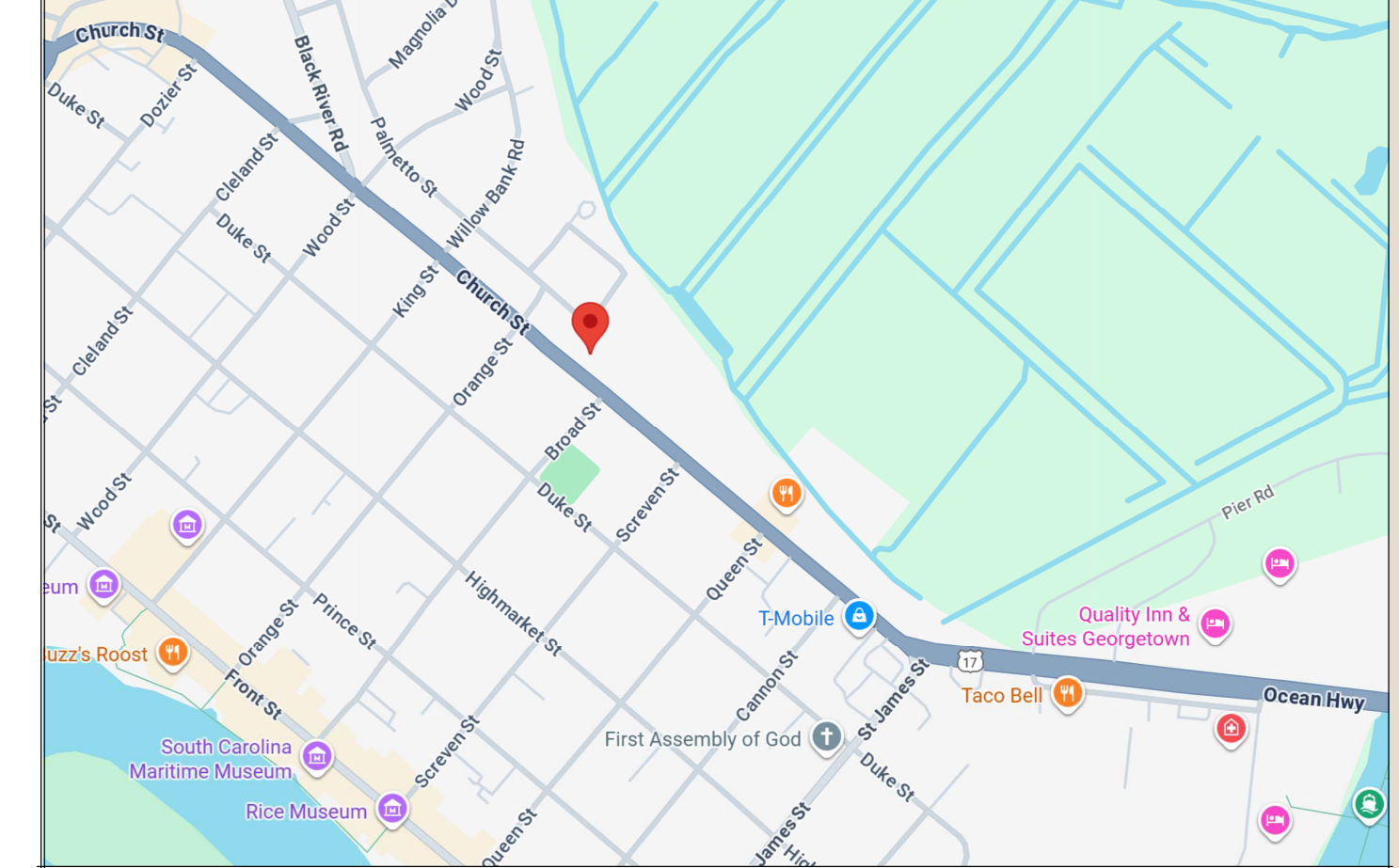
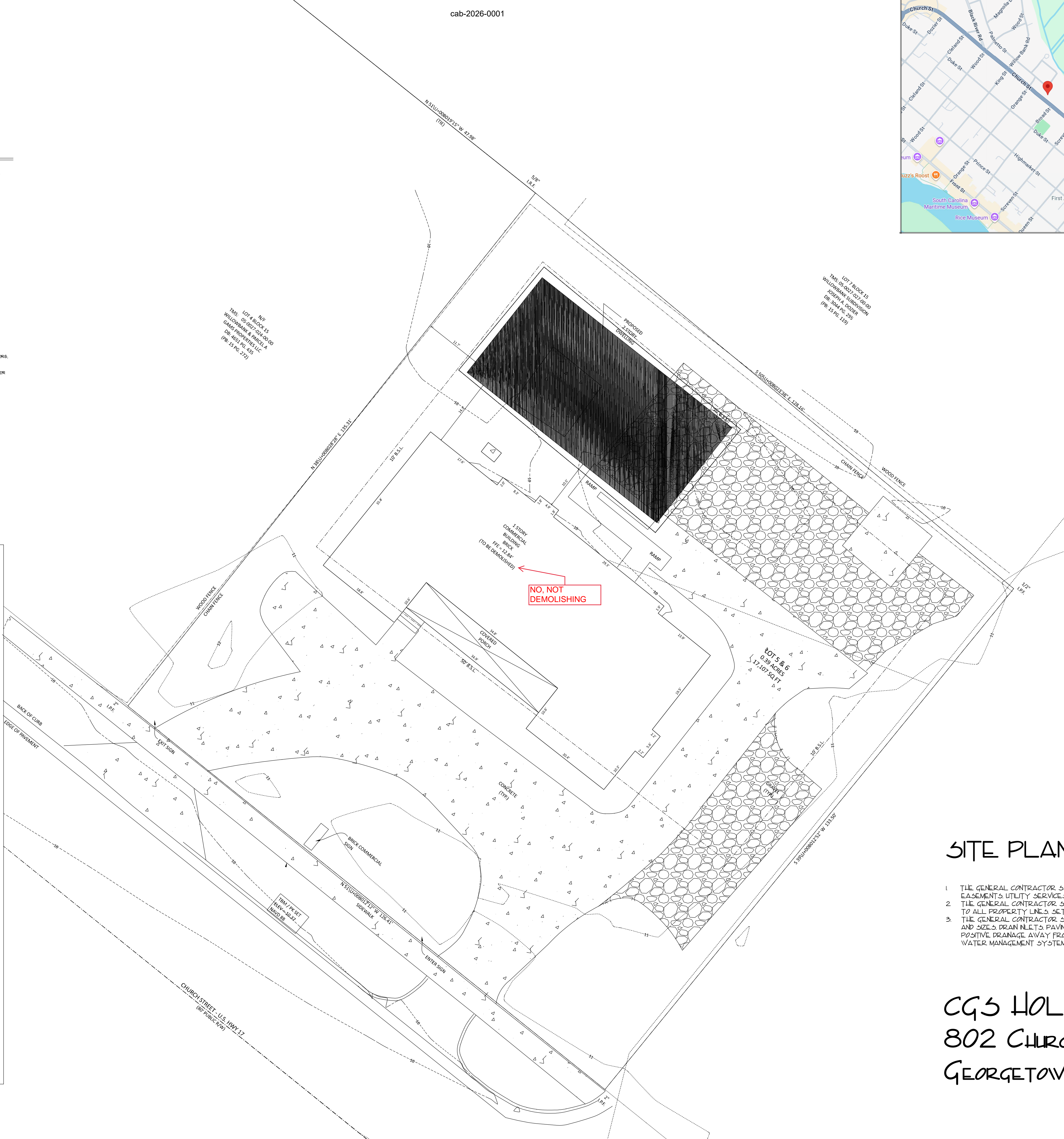
**Save up to \$100** on your qualifying purchase Apply for a Pro Xtra Credit Card

- Architecturally stylish roof shingles with Lifetime Ltd. warranty
- Upgraded Shingle nailing zone with 99.9% nail placement accuracy
- Industry leading 25-year Algae Protection Shingle Warranty
- [View More Details](#)

### DEMOLITION NOTES

- REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS, INCLUDING BUT NOT LIMITED TO: ITEMS SHOWN ON THE PLANS WITH 'REVISION CLOUDS', NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH AS REQUIRED. ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS. WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSITION OF MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY WITH OWNER, THE DISPOSITION AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.
- ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
- REMOVE ONLY NONLOAD BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY, PRIOR TO REMOVAL THAT NO STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, ETC., SUPPORTING FLOOR, ROOF OR CEILING SYSTEMS ARE DESIGNATED FOR REMOVAL. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTOR'S NONCONTACT OF DESIGNER PRIOR TO REMOVAL OF ANY WORK INDICATES HIS COMPLETE UNDERSTANDING THAT NO LOAD BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT.
- ALL STRUCTURAL SYSTEMS SHALL BE MAINTAINED AND SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE DESIGN LOADS AND TO RESIST THE DEFORMATION CAUSED BY SUCH LOADS TO WHICH THEY ARE EXPOSED. INCLUDING SURCHARGE, HYDROSTATIC HEAD AND IMPACT LOADS AS APPLICABLE. MINIMUM DESIGN LOAD VALUES SHALL BE AS FOLLOWS:  
 100 P.S.F. LIVE LOAD (FIRST FLOOR)  
 35 P.S.F. LIVE LOAD (SNOW)  
 20 P.S.F. DEAD LOAD (FLOORS/ROOF)  
 MAXIMUM ALLOWABLE DEFLECTION = L/360 OF SPAN
- PATCH ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO: GYPSUM BOARD, PLASTER, ACoustic SYSTEMS, WOOD TRIM, COVERS, BASE PANELS, RAILS AND WAINSCOT. VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, THICKNESS, CUT, ETC. TO SATISFACTION OF OWNER PRIOR TO INSTALLATIONS. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED. TO BE APPROVED BY OWNER.
- PATCH EXISTING WALLS GYPSUM DRYWALL OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS. ALL EXPOSED PORTIONS OF WALL SHALL BE FINISHED WITH THREE (3) COATS OF BRICKING SANDER AND LEFT IN A PAINT READY CONDITION.
- WHERE APPLICABLE LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES. INSTALL REQUIRED TRANSITION PIECES BETWEEN VARIOUS FLOOR FINISHES SUITABLE FOR CONDITIONS AND ACCEPTABLE TO THE OWNER. MATCH EXISTING WHEREVER POSSIBLE.

- SITE PLAN NOTES:**
- BEFORE ANY CONSTRUCTION, SITE PLAN MUST BE CHECKED AGAINST CURRENT RECORDED PLAT. SITE PLANS SHOULD NEVER BE ASSUMED CORRECT.
  - IF THE HOUSE AND OR OUT BUILDING IS WITHIN 3'-0" OF ANY SET BACKS OR BUILDING FOOT PRINT OCCUPIES MORE THAN 1/3 OF THE LOT SIZE THEN THE GENERAL CONTRACTOR SHALL HAVE A LICENSED SURVEYOR STAKE OUT AND OR VERIFY THE HOUSE LOCATION TO ENSURE THAT THE HOUSE DOES NOT ENCRoACH ON ANY SETBACKS OR EASMENTS, UNLESS THE ENCRoACHMENT IS ALLOWED BY ZONING AND BUILDING CODES. THE GENERAL CONTRACTOR SHALL COMMUNICATE TO THE OWNER AND DESIGNER ANY ENCRoACHMENT ISSUES THAT MEY NEED TO BE RESOLVED.
  - THE GENERAL CONTRACTOR SHALL VERIFY THE EXISTING TOPOGRAPHIC GRADE LEVELS, LOCATIONS OF TREES AND THE PROPOSED HOUSE. THE GENERAL CONTRACTOR SHALL COMMUNICATE TO THE OWNER AND DESIGNER ANY RECOMMENDED CHANGES BEFORE THE START OF ANY WORK.
  - THE GENERAL SHALL LOCATE ALL UTILITY SERVICES I.E. WATER SERVICES, GAS, ELECTRIC, TELEPHONE, CABLE TV AND COORDINATE THE EXTENTIONS TO THE HOUSE WITH TEH APPROPRIATE INTALLER. ALL CONNECTIONS, METERS, CLEAN OUTS, ETC. SHALL BE LOCATED AWAY FROM ANY PROMINENT VIEW.
  - THE GENERAL CONTRACTOR SHALL COORDINATE FINISH TOPOGRAPHIC GRADING AND PAVING WALKS, DRIVEWAYS, PATIOS, ETC. AS REQUIRED FOR POSITIVE DRAINAGE AWAY FROM THE HOUSE.
  - THE GENERAL CONTRACTOR SHALL COORDINATE ALL LANDSCAPING WITH THE OWNER AND DETERMINE WHETHER THE LANDSCAPING PACKAGE SHALL BE PROVIDED BY THE GENERAL CONTRACTOR OR BY OTHERS.
  - TYPICAL CONTROL JOISTS AND OR KEYWAYS IN SLABS ON GRADE SHALL BE SPACED 10' TO 12' WITH A MIN. 1" DEEP.



### SITE PLAN

- THE GENERAL CONTRACTOR SHALL VERIFY ALL PROPERTY LINES, SETBACKS, EASEMENTS, UTILITY SERVICES AND LOCATIONS PRIOR TO CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL VERIFY LOCATION OF THE HOUSE RELATIVE TO ALL PROPERTY LINES, SETBACKS AND EASEMENTS.
- THE GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADES, TREE LOCATION AND SIZES, DRAIN INLETS, PAVING REQUIREMENTS AND PROVIDE FOR ABSOLUTE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES TO AN APPROVED STORM WATER MANAGEMENT SYSTEM.

CGS HOLDINGS, LLC  
 802 CHURCH ST  
 GEORGETOWN, SC 29440

# CGS HOLDINGS, LLC (BOAT HOUSE)



Project No. 07.11.23

01.28.2026

Revisions

Notes  
 1. -  
 2. -  
 3. -

Project North

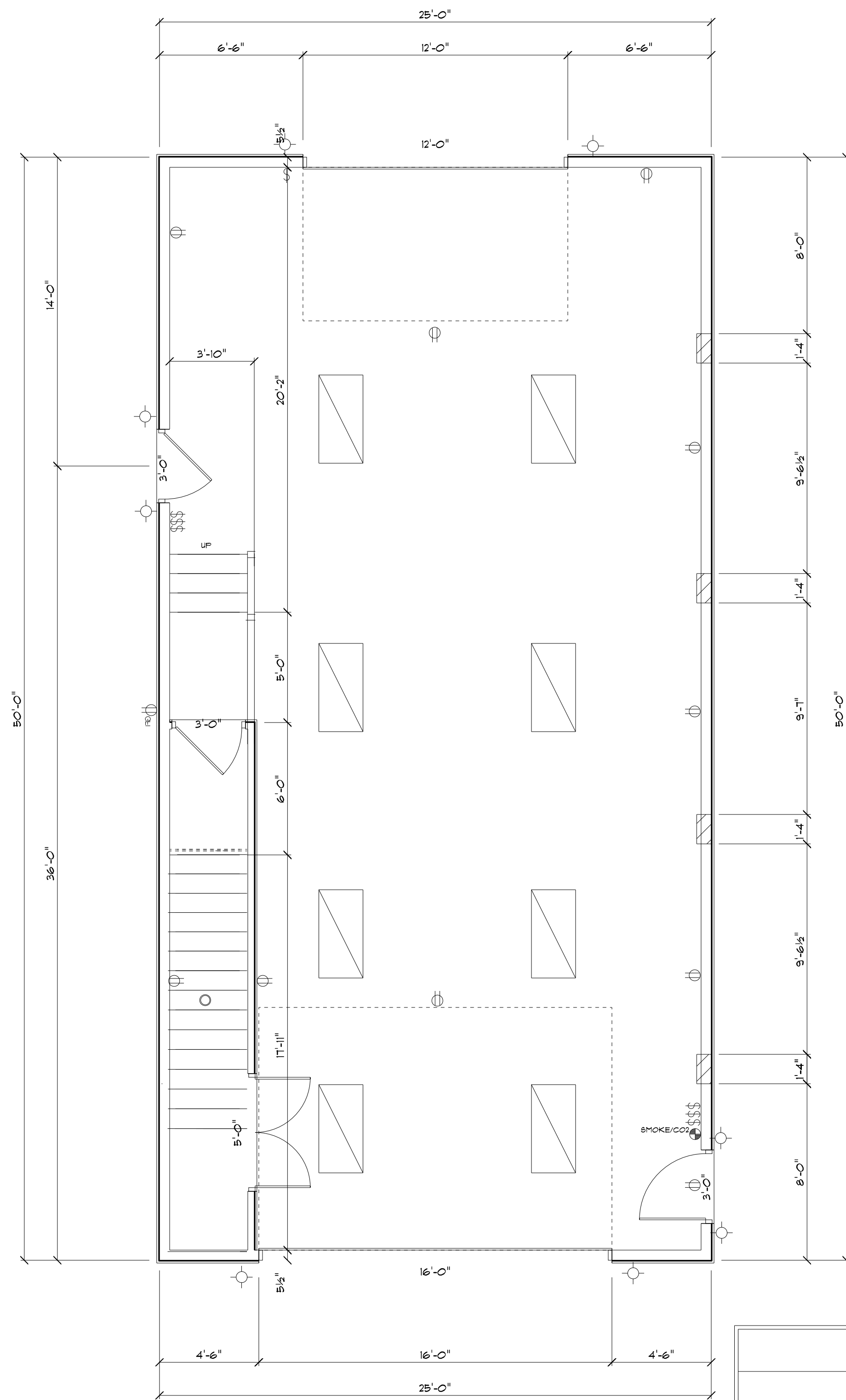
Scale 1/4"=1'-0"

Site Plan

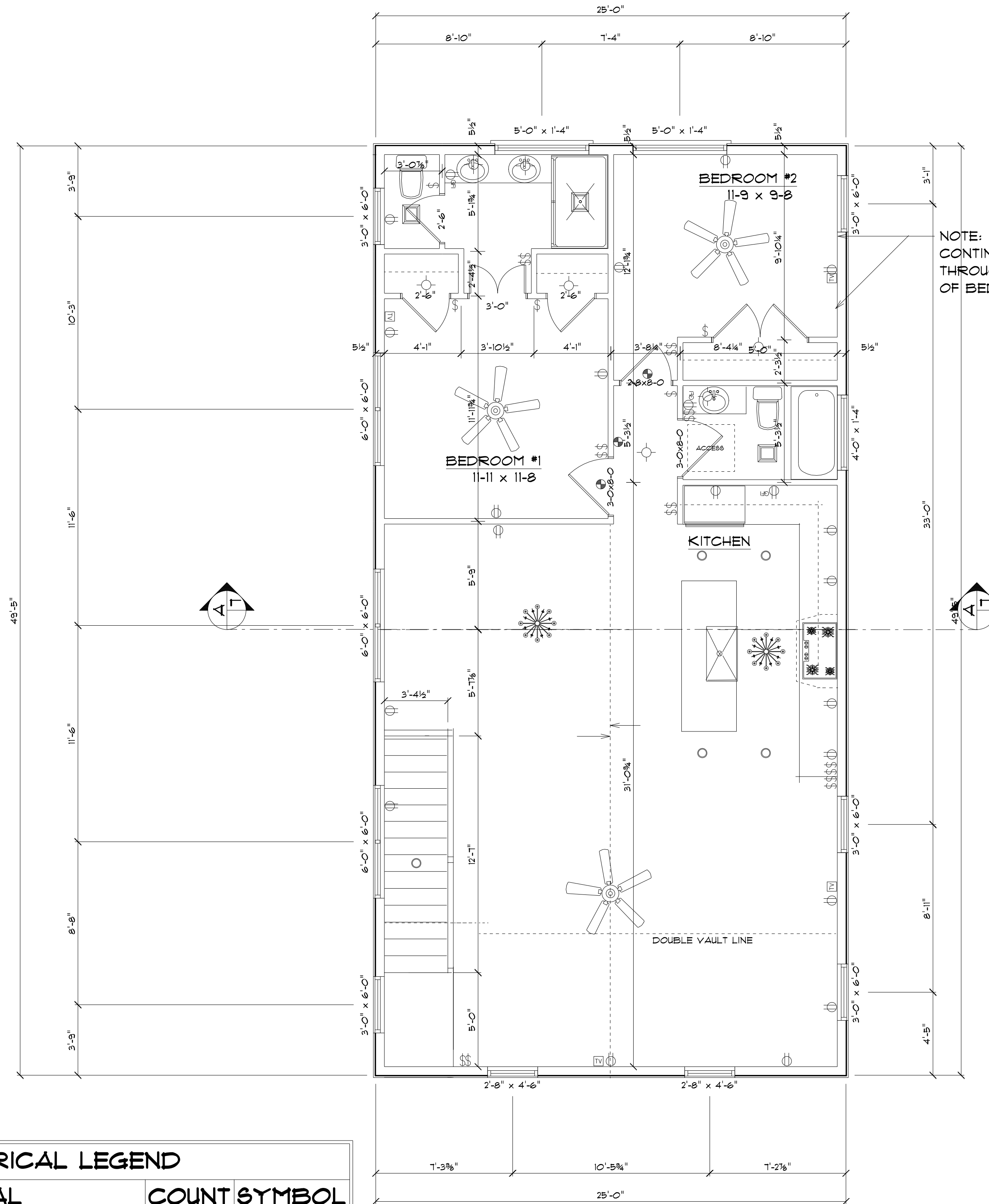
## 02







1ST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



2ND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

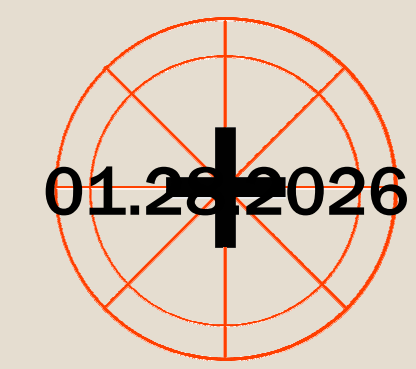
NOTE:  
CONTINUE LOW SLOPE  
THROUGH REMAINDER  
OF BEDROOM.

ELECTRICAL LEGEND		
ELECTRICAL	COUNT	SYMBOL
ceiling fan 5 bladed O3	3	
can light 6inch	6	
ceiling classic	2	
combination fan and light-square	3	
fluorescent light 2 x 4	8	
cable tv outlet	4	
light	15	
outlet	29	
outlet gfi	4	
smoke detector	4	
switch	28	

# CGS HOLDINGS, LLC (BOAT HOUSE)



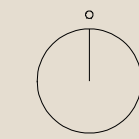
Project No. 07.01.2022



Revisions


Notes

Project North



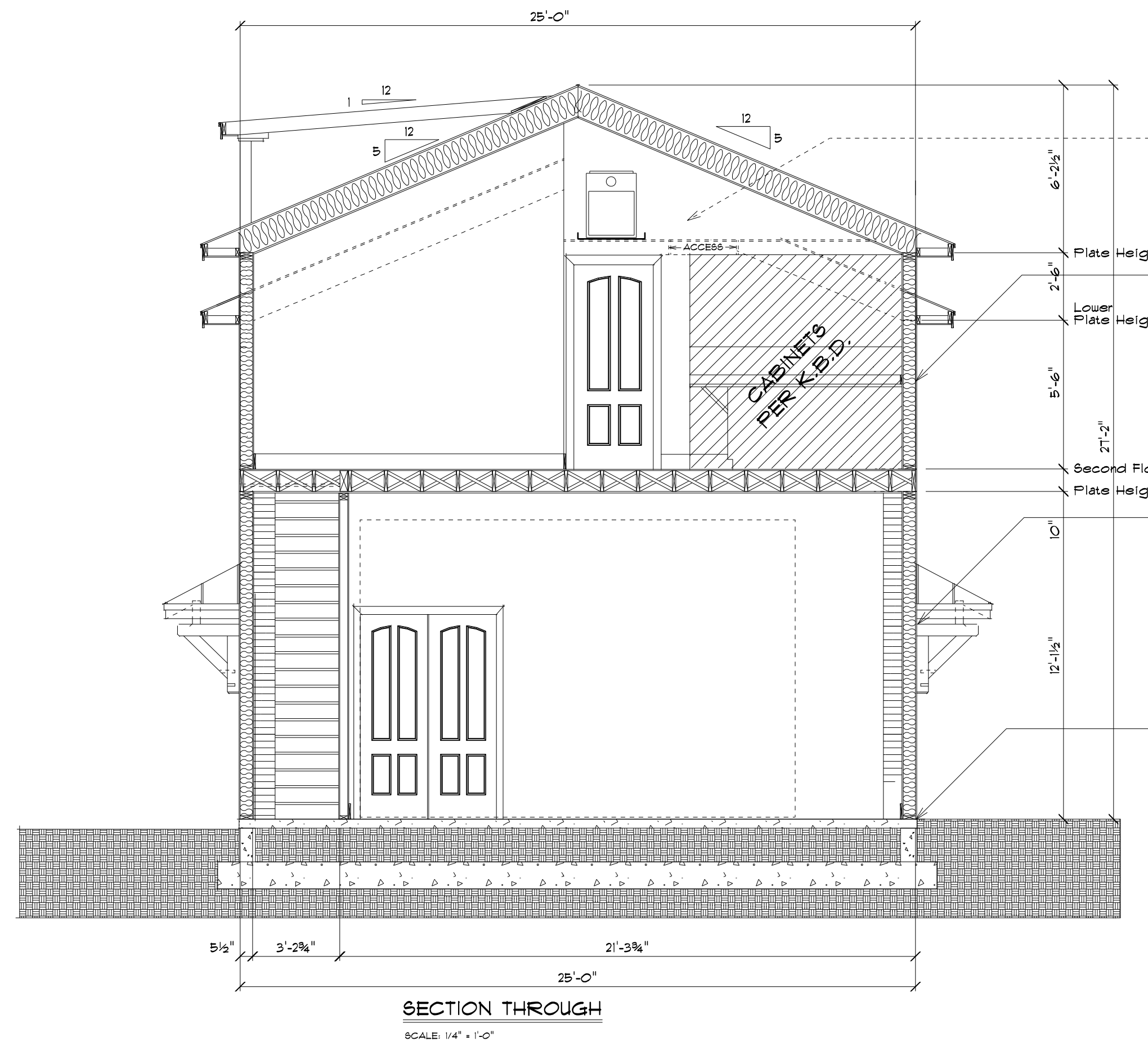
Scale 1/4"=1'-0"

FLOORPLANS

# 04

Sheet No. © 2022



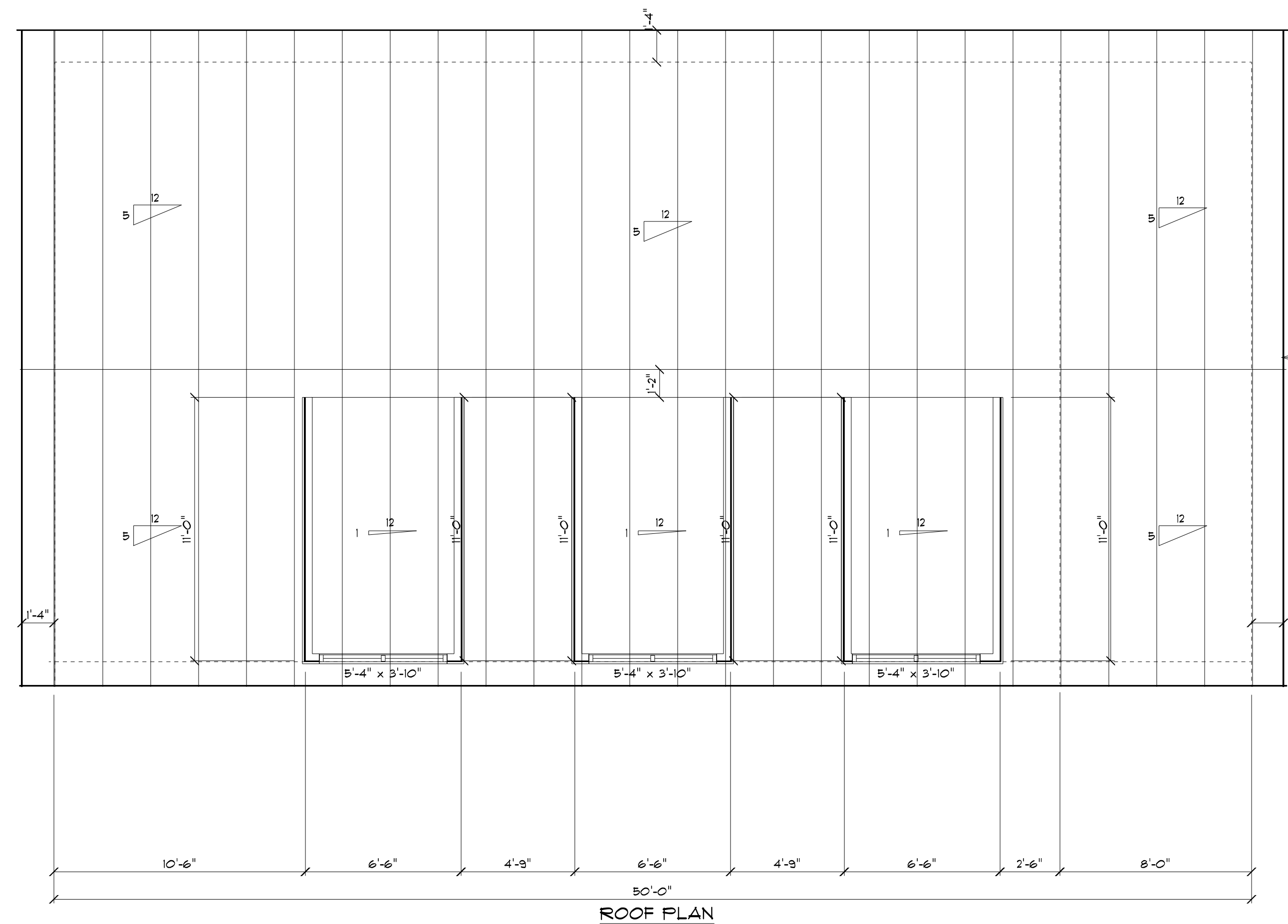


HYAC NOTE:  
POSSIBLE LOCATION FOR  
AIRHANDLER/RETURN, TO  
BE VERIFIED W/OWNER  
AND HYAC CONTRACTOR.

TYPICAL 2x6 EXTERIOR WALL:  
2x6 #2 S.Y.P. STUDS @ 16" o.c.  
R19 BATT INSULATION  
5/8" DRYWALL  
TAPED & SANDED

TYPICAL 2x6 EXTERIOR WALL:  
HORIZ SIDING TO MATCH EXIST.  
TYVEK HOUSE WRAP (OR EQ)  
1/2" PLYWOOD SHEATHING  
2x6 SYP STUDS @ 16" o.c.  
R19 BATT INSULATION  
5/8" DRYWALL  
TAPED & SANDED

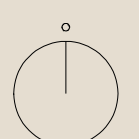
BILL PLATE TYPICAL (PT)  
PER ENGINEER



ROOF:  
2x PER ENGINEER'S  
GRADE ICE/WATER SHIELD  
STANDING SEAM METAL AT  
DORMERS ONLY WITH TRUSS  
BRACING PER MANUF./ENG  
R39 BATT INSULATION  
6 mil POLY V.B.  
5/8" CEILING BOARD  
TAPED & SANDED



1. -
2. -
3. -





**GENERAL NOTES:**

- IN CASE OF DISCREPANCY IN DIMENSIONS OR DETAILS WITH THE STRUCTURAL DRAWINGS, CONTACT THIS OFFICE.
- ALL MATERIALS USED FOR CONSTRUCTION, DESIGN, DETAILING, FABRICATION AND INSTALLATION SHALL CONFORM WITH APPLICABLE CURRENT CODES AND STANDARDS, LATEST EDITIONS.
- ALL SECTIONS AND DETAILS ARE TYPICAL AT SIMILAR LOCATIONS AND WHERE APPLICABLE.
- DIMENSIONS USED FOR CONSTRUCTION SHALL BE OBTAINED FROM THE ARCHITECTURAL PLANS EXCEPT WHERE SPECIFIED HEREIN.
- CONTRACTOR SHALL PROVIDE ADEQUATE BRACING AND SHORING FOR ALL MEMBERS DURING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR ANY FAILURES AND DAMAGES DUE TO THE LACK OF SUCH.
- REFER TO THE ARCHITECTURAL DRAWINGS FOR FINISHED FLOOR ELEVATIONS, CURB COURSES, FLASHING, DRAINAGE, FIRE PROOFING, WATER PROOFING, AND OTHER DETAILS NOT SHOWN ON THESE DRAWINGS.
- NON-STANDARD LOADS OR EQUIPMENT SHALL BE APPLIED ON STRUCTURAL MEMBERS UNLESS THEY ARE IDENTIFIED HEREIN.
- FOOTINGS:
  - FOOTING DESIGN IS BASED ON 2,000 P.S.F. SOIL BEARING PRESSURE.
  - ALL FOOTINGS SHALL EXTEND DOWN TO SOLID BEARING MATERIAL REGARDLESS OF ELEVATIONS SHOWN.
- DESIGN, TRANSPORTING, AND PLACEMENT OF ALL CAST-IN-PLACE CONCRETE AND REINFORCEMENT SHALL BE IN ACCORDANCE WITH APPLICABLE PROVISIONS OF ACI 301, ACI 315 AND ACI 318.
- DESIGN AND ERECTION OF ALL FORMWORK SHALL BE IN ACCORDANCE WITH ACI 347 AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONCRETE FOR SLABS ON GRADE SHALL CONTAIN TYPE II PORTLAND CEMENT CONFORMING TO ASTM C 150. ALL OTHER CONCRETE SHALL CONTAIN TYPE I OR TYPE II PORTLAND CEMENT CONFORMING TO ASTM C 150 AND SHALL HAVE PROPERTIES AS FOLLOWS:
 

LOCATION OF CONCRETE	SPECIFIED COMPRESSIVE STRENGTH AT 28 DAYS	MAXIMUM SIZE OF AGGREGATE	SUMP	MAXIMUM WATER/CEMENT RATIO BY WEIGHT
FOUNDATIONS (GRADE BEAMS & FOOTINGS)	3000 PSI	1 1/2"	3"±1"	0.59 (0.48)
SLABS ON GRADE	3000 PSI	1"	4"±1/2"	0.48 (0.48)

ALL CONCRETE CONTAINING HIGH RANGE WATER REDUCING ADMIXTURE (SUPERPLASTICIZER) SHALL HAVE A MAXIMUM SUMP OF 8" UNLESS OTHERWISE DIRECTED BY THE ENGINEER. THE CONCRETE SHALL ARRIVE AT THE JOBSITE AT A SUMP OF 2" TO 3". BE VERIFIED BY THE TESTING AGENCY, THEN THE HIGH RANGE WATER REDUCING ADMIXTURE ADDED TO THE APPROVED LEVEL.
- ALL FOOTING AND WALL REINFORCEMENT SHALL BE A.S.T.M. A-615 GRADE 60.
  - DETAIL AS PER A.C.I. SPEC'S.
  - MAINTAIN 3" MINIMUM COVER ON ALL FOUNDATION STEEL.
- STRUCTURAL AND MISC. STEEL SHALL CONFORM TO ASTM A-36 SPECIFICATIONS.
  - SHOP PAINT
  - FABRICATION AND ERECTION AS PER A.I.S.C. SPEC'S.
- CONNECTIONS:
  - SHOP AND FIELD WELDED
  - FIELD BOLTS SHALL BE HIGH STRENGTH U.N.O.
- ALL WOOD MEMBERS USED FOR BRACING & HEADERS SHALL BE #2 SYP AT 19% M.C. ALL LUMBER IN DIRECT CONTACT WITH MASONRY, STEEL AND CONCRETE SHALL BE PRESSURE TREATED MATERIAL.
- ALL WOOD MEMBERS USED FOR BRACING, STUDS, TOP PLATES AND BOTTOM PLATES SHALL BE #2 SYP @ 19% M.C.
- UNLESS OTHERWISE NOTED, ALL UNITS OF CONCRETE MASONRY SHALL BE LIGHTWEIGHT CONC. BLOCK CONFORMING TO A.S.T.M. C-90, TYPE 1, GRADE N-1, PUNICE OR EXPANDED SLAG. ALL MORTAR SHALL BE TYPE S.
- ALL NEW FILL MATERIAL SHALL BE PLACED IN 6"-8" LAYERS AND COMPACTED TO 95% OF ITS MAXIMUM DRY DENSITY IN ACCORDANCE WITH A.S.T.M. D-698.
- COMPACTION SHALL BE VERIFIED USING A DYNAMIC CONE PENETROMETER PROVIDED THE IMPORTED FILL DEPTH HAS A MAX OF 2'-8" TO NATIVE SOILS. WHEN IMPORTED FILL IS GREATER THAN 2'-4" CONTRACTOR MUST HAVE A GEOTECHNICAL REPORT STATING THE SOILS HAVE BEEN COMPACTED TO 95% STANDARD PROCTOR DENSITY IN 8" LIFTS, FOR SOILS MORE THAN 2'-4" BELOW THE BOTTOM OF THE FOOTING.
- REMOVE ALL MATERIAL CONTAINING ROOTS AND OTHER UNDESIRABLE MATERIAL FROM THE FOUNDATION PAD.
- WOOD TRUSSES AND STRONG-BACK TIES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. UNLESS OTHERWISE NOTED ON THESE PLANS, PRE-ENGINEERED TRUSSES SHALL BEAR ON EXTERIOR SHEATHED WALLS THAT ARE DESIGNED TO SUPPORT THE LOADING FROM THE TRUSSES. TRUSSES SHALL NOT BE DESIGNED TO TRANSFER LOADS TO INTERIOR WALLS WITHOUT MODIFICATION OF THESE PLANS TO SUPPORT THESE LOADS.
- ALL MATERIALS BELOW R.F.E. SHALL BE FLOOD RESISTANT MATERIALS (PRESSURE TREATED MATERIALS).
- MINIMUM DESIGN LOADS:
 

FLOOR: LIVE LOAD = 40 PSF	DEAD LOAD = 20 PSF
ROOF: LIVE LOAD = 20 PSF	DEAD LOAD = 20 PSF
WALL DEAD LOAD: 10.0 PSF	
WIND VELOCITY <sub>33'</sub> : 115 MPH	
WIND VELOCITY <sub>60'</sub> : 148 MPH	

WINDBORNE DEBRIS REGION: YES  
WIND EXPOSURE CATEGORY: B
- WINDOWS AND DOORS MUST BE RATED FOR A MINIMUM DESIGN PRESSURE OF: DP-60  
BEARING WALL SYSTEM: LIGHT-FRAMED WALLS SHEATHED W/WOOD STRUCTURAL PANELS.  
THIS STRUCTURE IS LOCATED IN A WINDBORNE DEBRIS REGION, IN ACCORDANCE WITH THE 2021 IRC AND THE ASCE 7-16 AND GLAZED OPENINGS MUST BE PROTECTED IN ACCORDANCE WITH SECTION 301.2.1.2 OF THE CODE. GLAZED PROTECTION WILL BE IN THE FORM OF ONE OF THE FOLLOWING:
  - IMPACT RESISTANT GLASS MEETING THE REQUIREMENTS OF ASTM E 1886 AND E 1888, OR
  - PRE-ENGINEERED HURRICANE SHUTTERS, OR
  - WOOD STRUCTURAL PANELS, PRE-CUT FOR ALL GLAZED OPENINGS, LABELED AND STORED ON-SITE WITH ADEQUATE ATTACHMENT HARDWARE. ATTACHMENT HARDWARE SHALL BE 2 1/2" LONG #6 WOOD SCREW OR 2 1/2" LONG #8 WOOD SCREW ATTACHED AT HALF THE SPACING PROVIDED IN TABLE R301.2.1.2.
- RESIDENTIAL SEISMIC DESIGN DATA:  
SEISMIC DESIGN CATEGORY: C
- SHEATHING NAILS SHALL BE .131" SHANK 8d COMMON NAILS.
- WIND AND FOUNDATION DESIGN AND LOADING IS BASED ON THE 2021 INTERNATIONAL RESIDENTIAL CODE. WIND LOADING AND CONSTRUCTION DETAILING FOR RESIDENTIAL CONSTRUCTION IS BASED ON THE ASCE 7-16.
- BEAMS AND HEADERS GREATER THAN 4'-0" IN SPAN LENGTH SHALL BE SUPPORTED AT EACH END BY ONE JACK STUD FOR EACH 3' OF OPENING, WITH HALF OF THE JACKS ON EACH SIDE (E.G.-A GARAGE OPENING OF 16' WOULD HAVE 3 STUDS SUPPORTING EACH END (U.N.O.)).
- INSTALL SPECIFIED ANCHORS ON BOTH SIDES OF SPLITS IN BASE PLATE.
- INSTALL CST16 COIL STRAP EACH SIDE OF OPENINGS GREATER THAN 3' TOP PLATE ACROSS KING STUD, JACK STUD, HEADER & PLATE.
- FLOOR FRAMING, CEILING FRAMING AND RAFTERS SHALL BE FRAMED IN ACCORDANCE WITH THE CODE AND THE AFAPA SPAN TABLES.
- EXTERIOR STAIRS, LANDINGS, AND DECK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE AND ACCEPTED PRACTICE.

**HEADER SCHEDULE PER 2021 IRC UNLESS NOTED OTHERWISE**

UN-SUPPORTED WALL HEIGHT	STUD SPACING	MAXIMUM HEADER SPAN	NUMBER OF HEADER STUDS SUPPORTING END OF HEADER (JACK)	NUMBER OF FULL LENGTH STUDS @ EA. END OF HEADER (KING)	HEADER TO HEADER STUD CONNECTION	HEADER
11' OR LESS	16 in.	≤ 3 ft. 2/3 ft. to ≤ 6 ft. 2/6 ft. to ≤ 8 ft.	2 2	2 2	NONE CST16 (SIMPSON) (3) CST16 (SIMPSON)	(3) - 2" x 6" (3) - 2" x 8" (3) - 2" x 10"

**EXTERIOR SHEARWALL SCHEDULE UNLESS NOTED OTHERWISE**

L.O.	MATERIAL	SIZE	NAIL SPACING	EDGE	INTER.	SHEARWALL ANCHOR
LONGITUDINAL	7/16" OSB SHEATHING	8d	486 in.	12 in.	N/A	
TRANSVERSE	7/16" OSB SHEATHING	8d	486 in.	12 in.	N/A	

**ROOF DIAPHRAGM SCHEDULE UNLESS NOTED OTHERWISE**

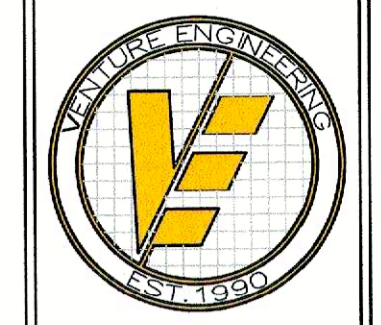
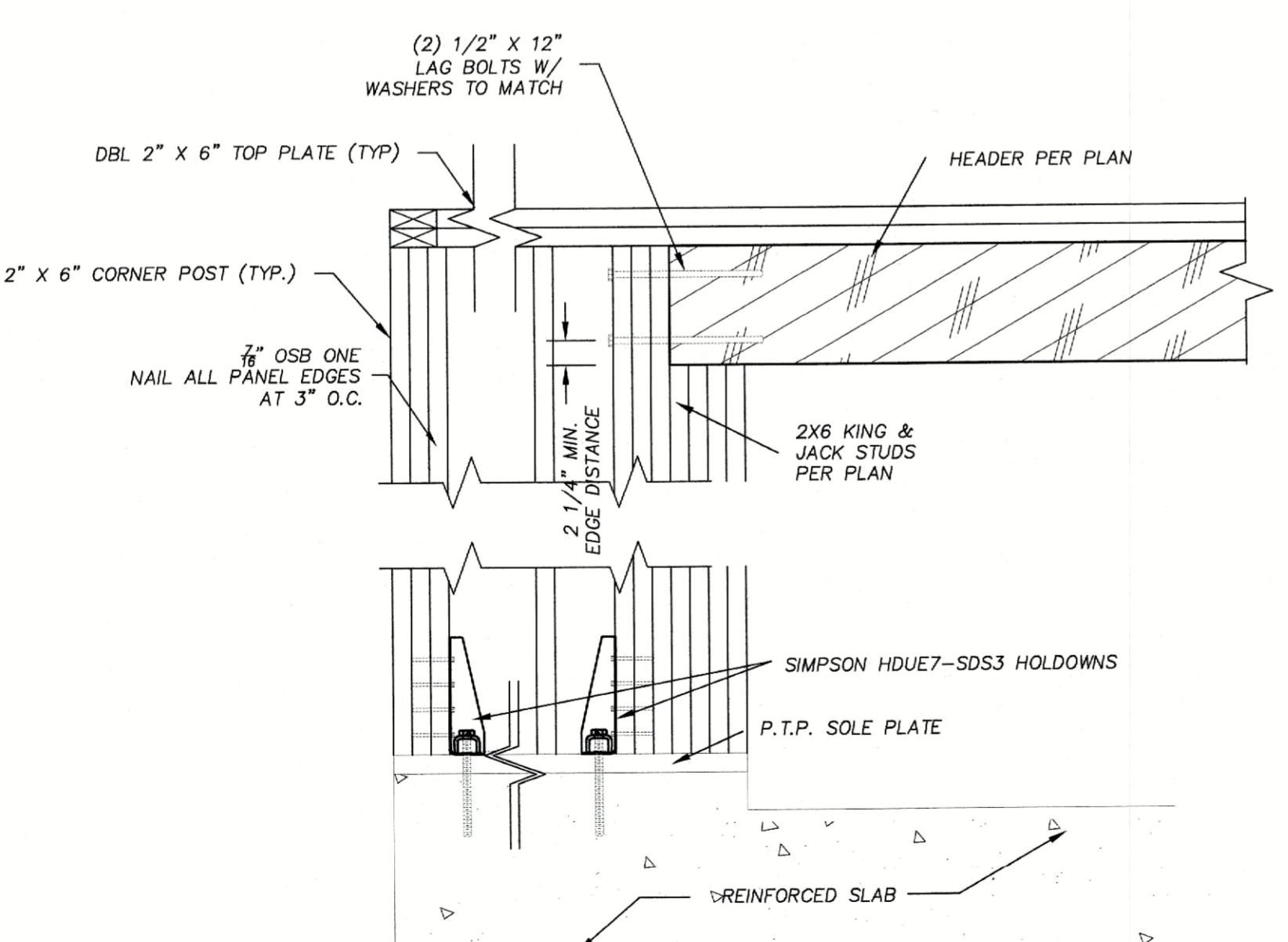
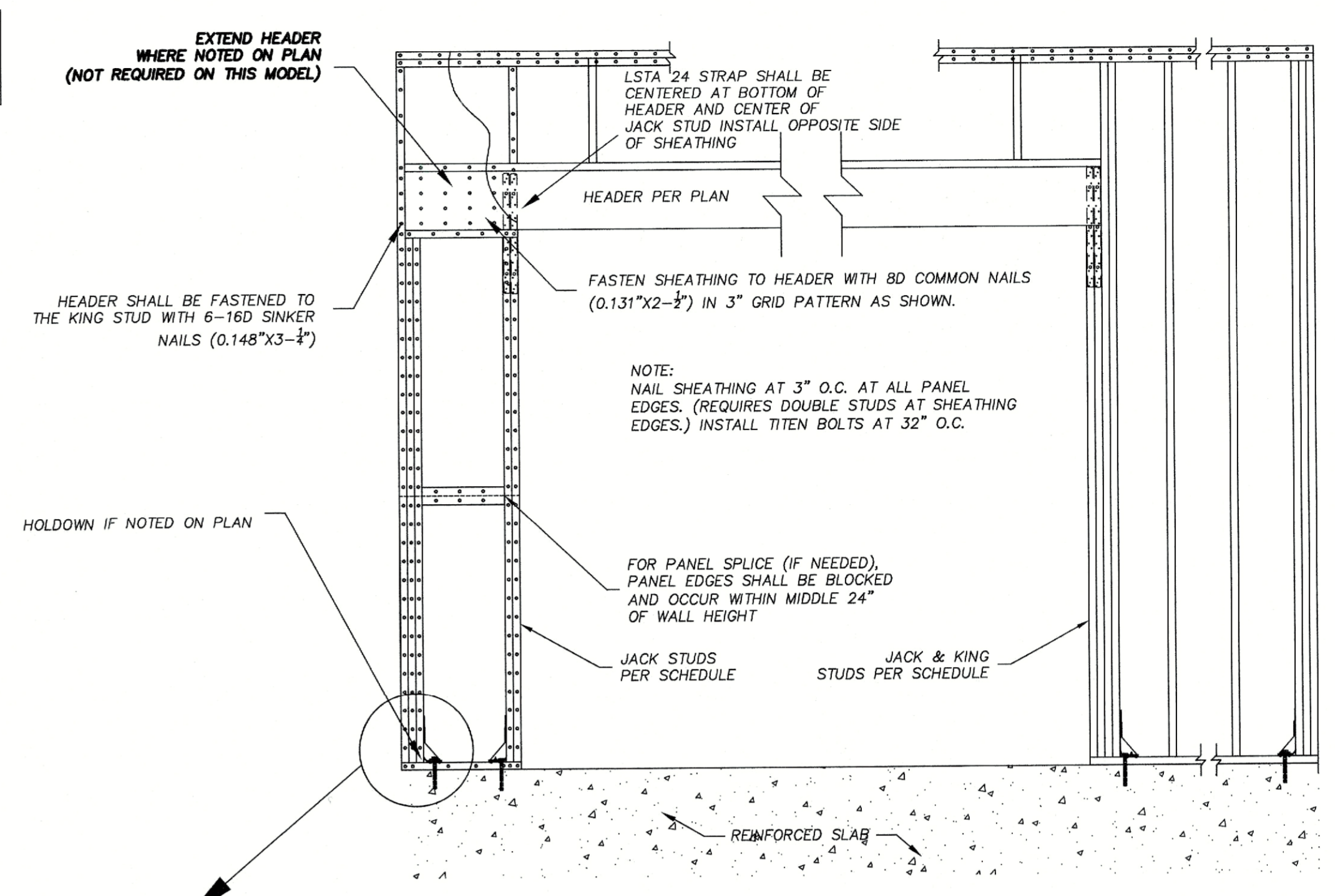
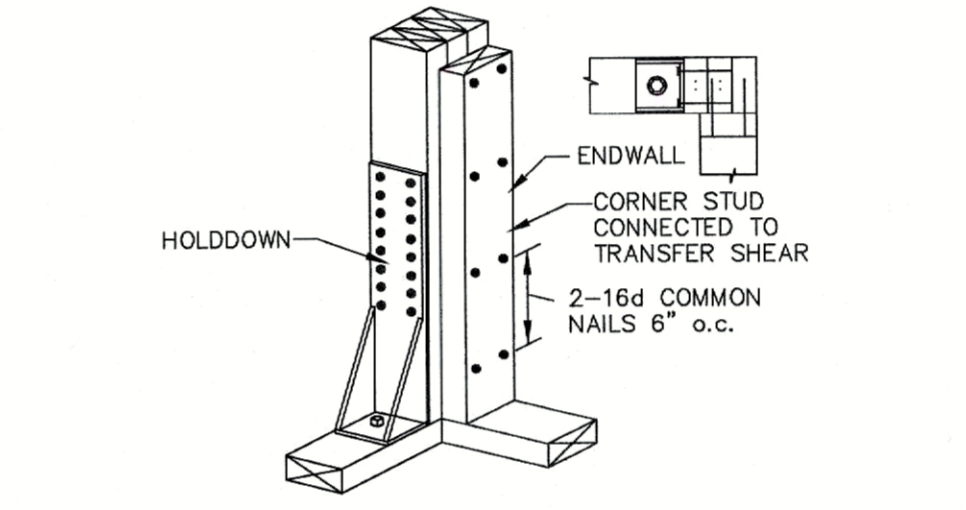
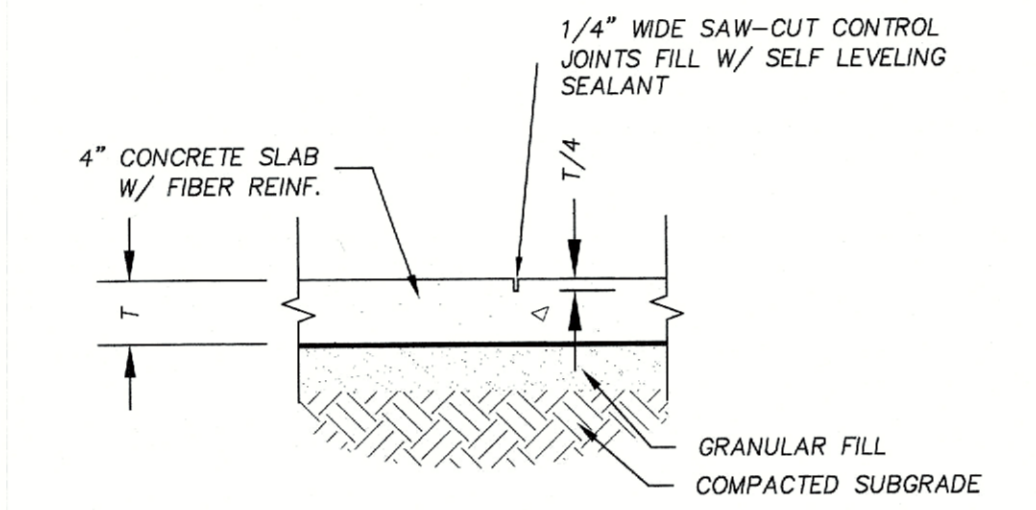
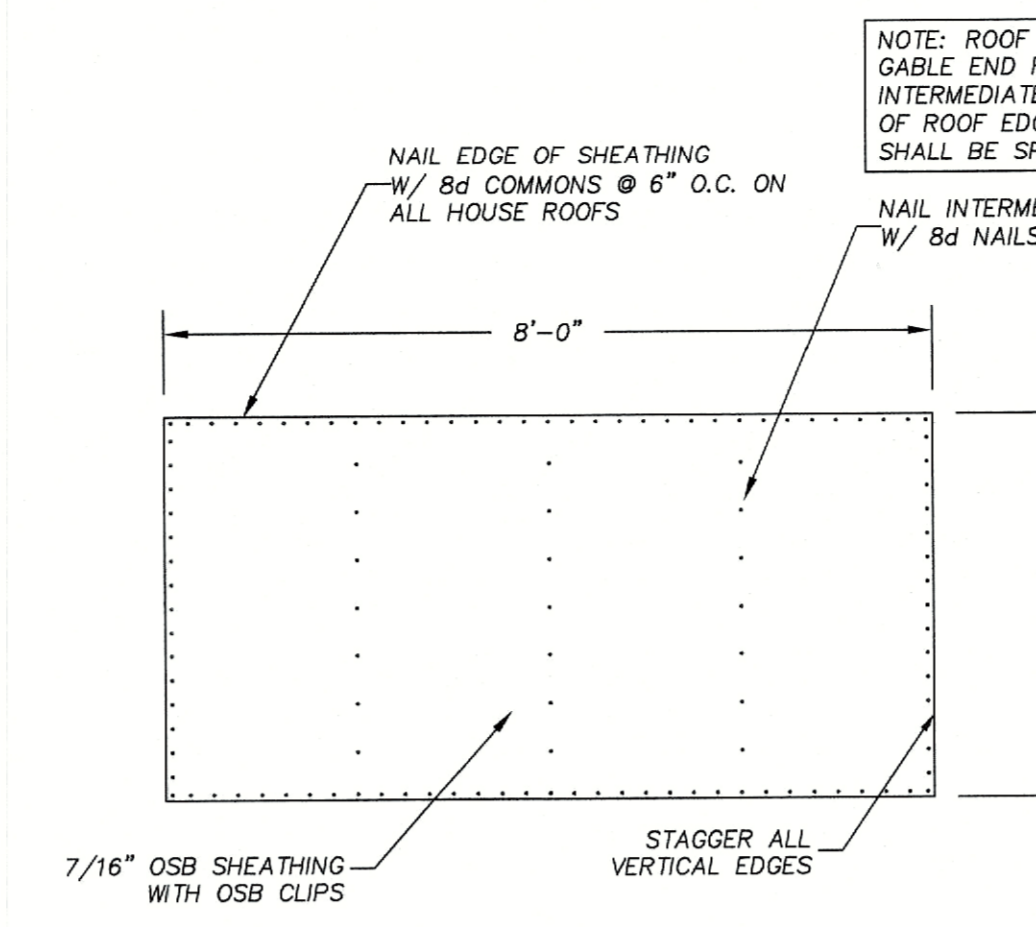
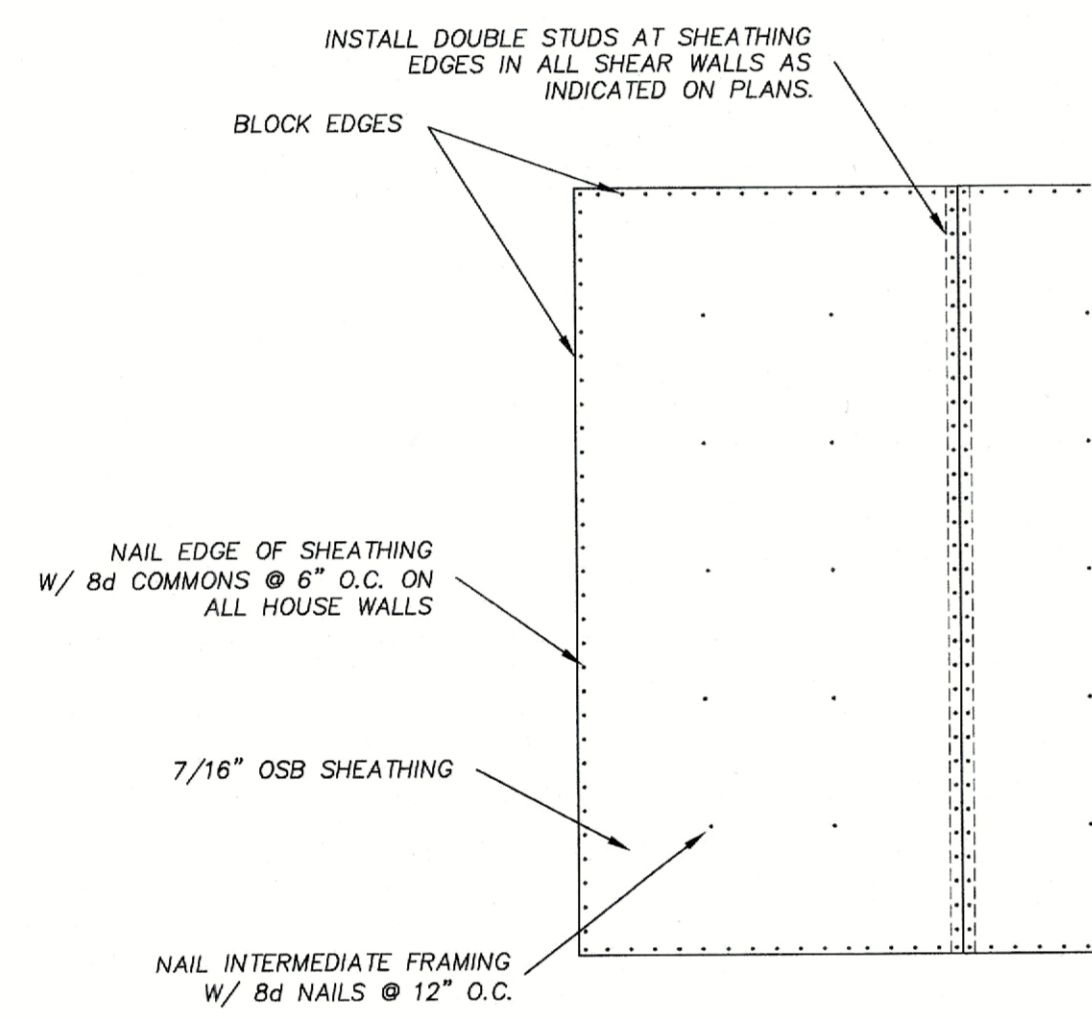
L.O.	MATERIAL	SIZE	NAIL SPACING	EDGE	INTER.	DIAPHRAGM
ROOF #1	7/16" OSB SHEATHING	8d	486 in.	6 in.	UN-BLOCKED	

**TOP AND BOTTOM PLATE FASTENERS UNLESS NOTED OTHERWISE**

L.O.	MATERIAL	SIZE	NAIL SPACING	EDGE	INTER.	DIAPHRAGM
TOP OF WALL LEVEL	7/16" OSB SHEATHING	8d	486 in.	12 in.	N/A	
FLOOR LEVEL	7/16" OSB SHEATHING	8d	486 in.	12 in.	N/A	

**DOUBLE TOP PLATE NAILING UNLESS NOTED OTHERWISE**

L.O.	LOCATION	FASTENERS	COMMENTS
DOUBLE TOP PLATE	INTERIOR RUNS	16d 16 in.	
DOUBLE TOP PLATE	LAPS, SPLICES AND INTERSECTIONS	(3) 16d EA. SIDE OF JOINT	OVERLAP PLATES AT CORNERS AND JOINTS



209 HIGHWAY 544  
CONWAY, SC 29526  
843-347-5851

SHEET No.: 1 OF 3  
DATE: FEBRUARY 16, 2026  
DRAWN BY: R.P.M.  
CHECKED BY: C.W.H.

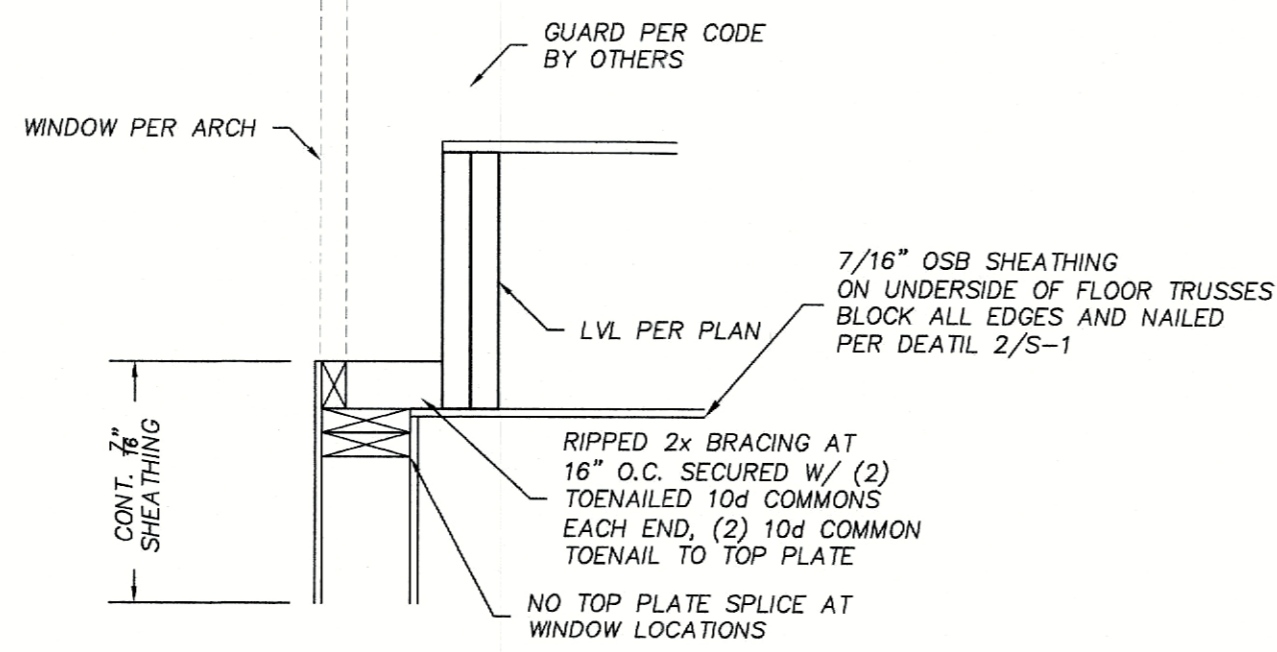
REVISIONS	No.	DATE	DESCRIPTION

BOAT HOUSE  
802 CHURCH STREET, GEORGETOWN, SC  
PREPARED FOR  
CGS HOLDINGS, LLC

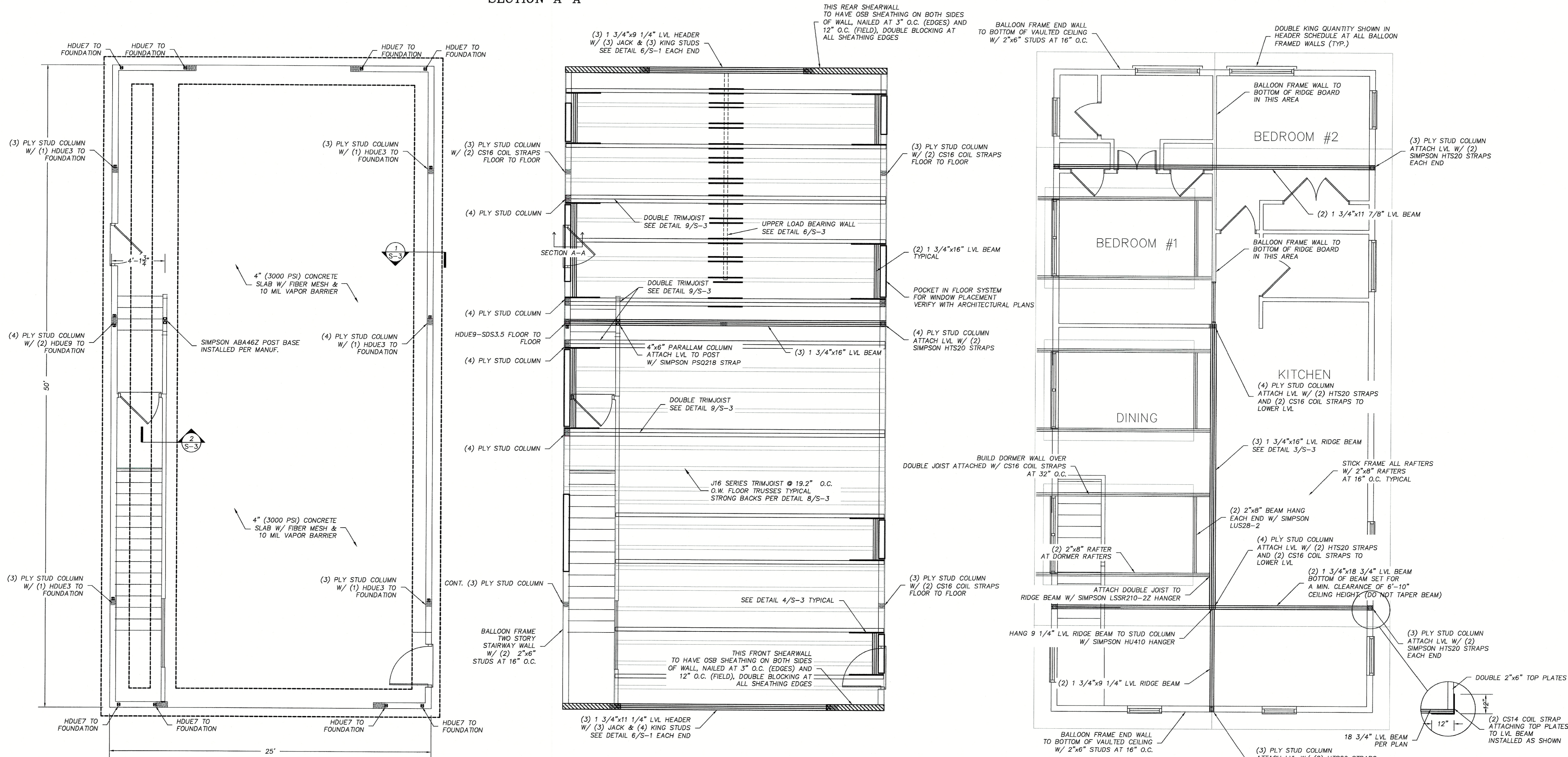
VENTURE ENGINEERING, INC.  
No. 00088  
SOUTH CAROLINA  
REGISTERED PROFESSIONAL ENGINEER

VENTURE ENGINEERING, INC.  
No. 33759  
SOUTH CAROLINA  
REGISTERED PROFESSIONAL ENGINEER

S-1  
JOB # 2026-1648



SECTION A-A



1 FOUNDATION PLAN  
S-2 SCALE: 1/4"=1'-0"

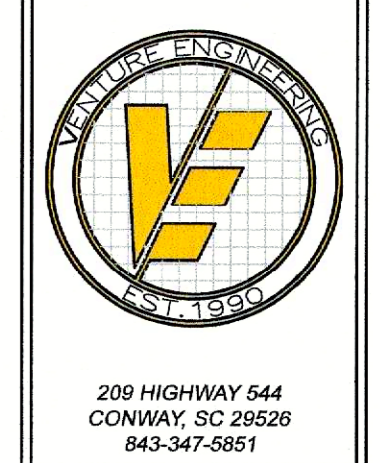
- INDICATES SHEAR WALL SEE DETAIL 5/S-1
- CONTRACTOR TO VERIFY ALL DIMENSIONS WITH ARCHITECTURAL PLANS
- ALL HDUE HOLDDOWNS TO BE ANCHORED W/ 3/8" GALV. THREADED ROD DRILLED 8" INTO FND STEM WALL AND SECURED W/ SIMPSON SET-36 HIGH STRENGTH EPOXY. HDUE-9 HOLDDOWN TO BE ANCHORED W/ 3/8" GALV. THREADED ROD DRILLED 12" INTO FND STEM WALL AND SECURED W/ SIMPSON SET-36 HIGH STRENGTH EPOXY.

2 SECOND FLOOR FRAMING PLAN  
S-2 SCALE: 1/4"=1'-0"

- INDICATES SHEAR WALL SEE DETAIL 5/S-1
- ALL TRUSSES AND BEAMS SUPPLIED BY TRUSS MANUFACTURER AND HUNG OFF SUPPORTING MEMBER ARE TO HAVE HANGERS SPECIFIED AND SUPPLIED BY SAME TRUSS MANUFACTURER
- ALL LVL'S TO BE 3100 Fb, AND 2.0E MIN.

3 ROOF FRAMING PLAN  
S-2 SCALE: 1/4"=1'-0"

- INDICATES SHEAR WALL SEE DETAIL 5/S-1
- ALL TRUSSES AND BEAMS SUPPLIED BY TRUSS MANUFACTURER AND HUNG OFF SUPPORTING MEMBER ARE TO HAVE HANGERS SPECIFIED AND SUPPLIED BY SAME TRUSS MANUFACTURER
- ALL LVL'S TO BE 3100 Fb, AND 2.0E MIN.

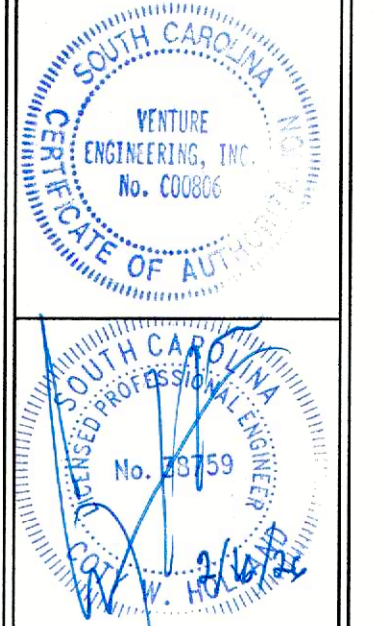


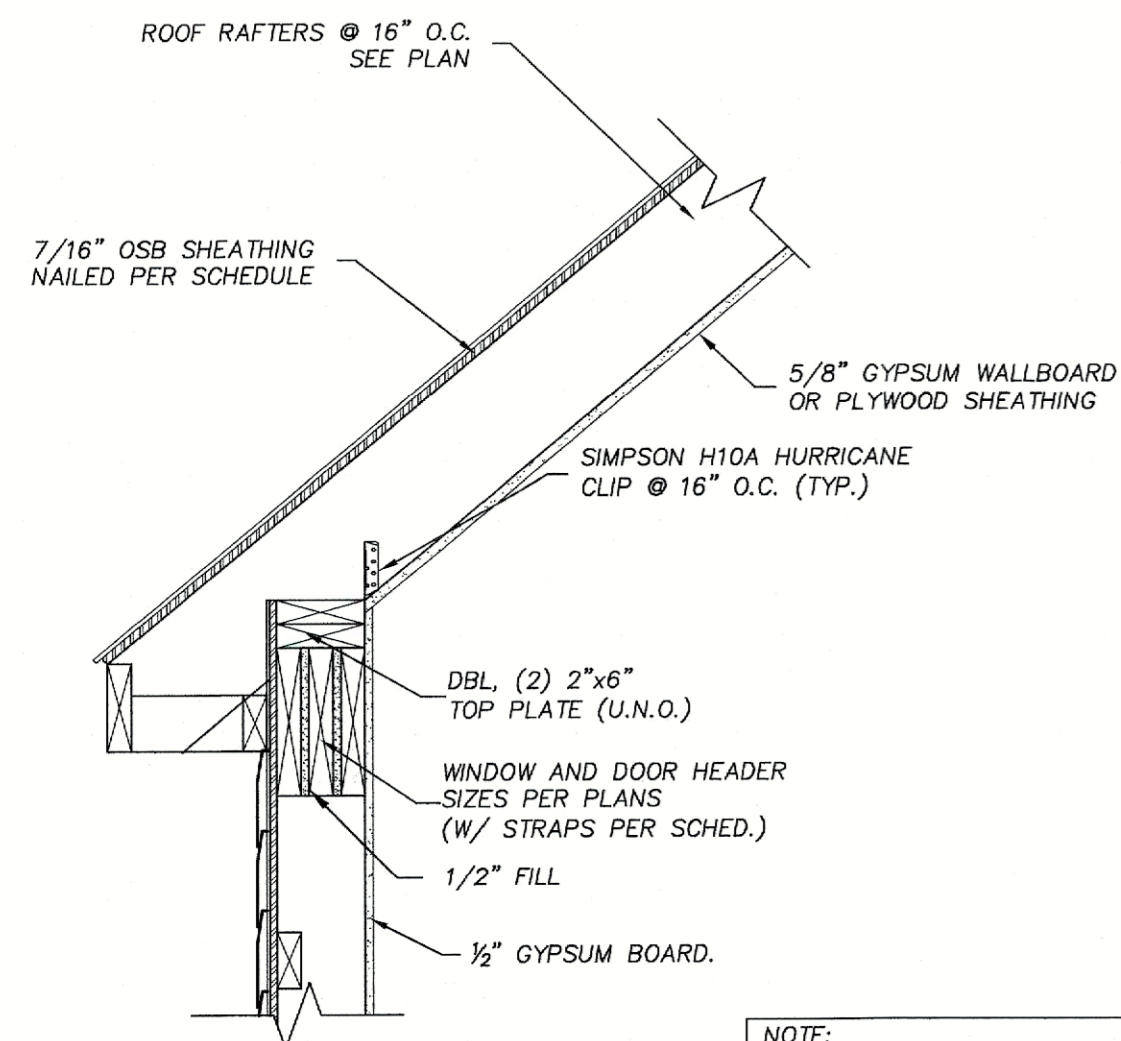
209 HIGHWAY 544  
CONWAY, SC 29528  
843-347-5551

SHEET No.: 2 OF 3  
DATE: FEBRUARY 16, 2026  
DRAWN BY: R.P.H.  
CHECKED BY: C.W.H.

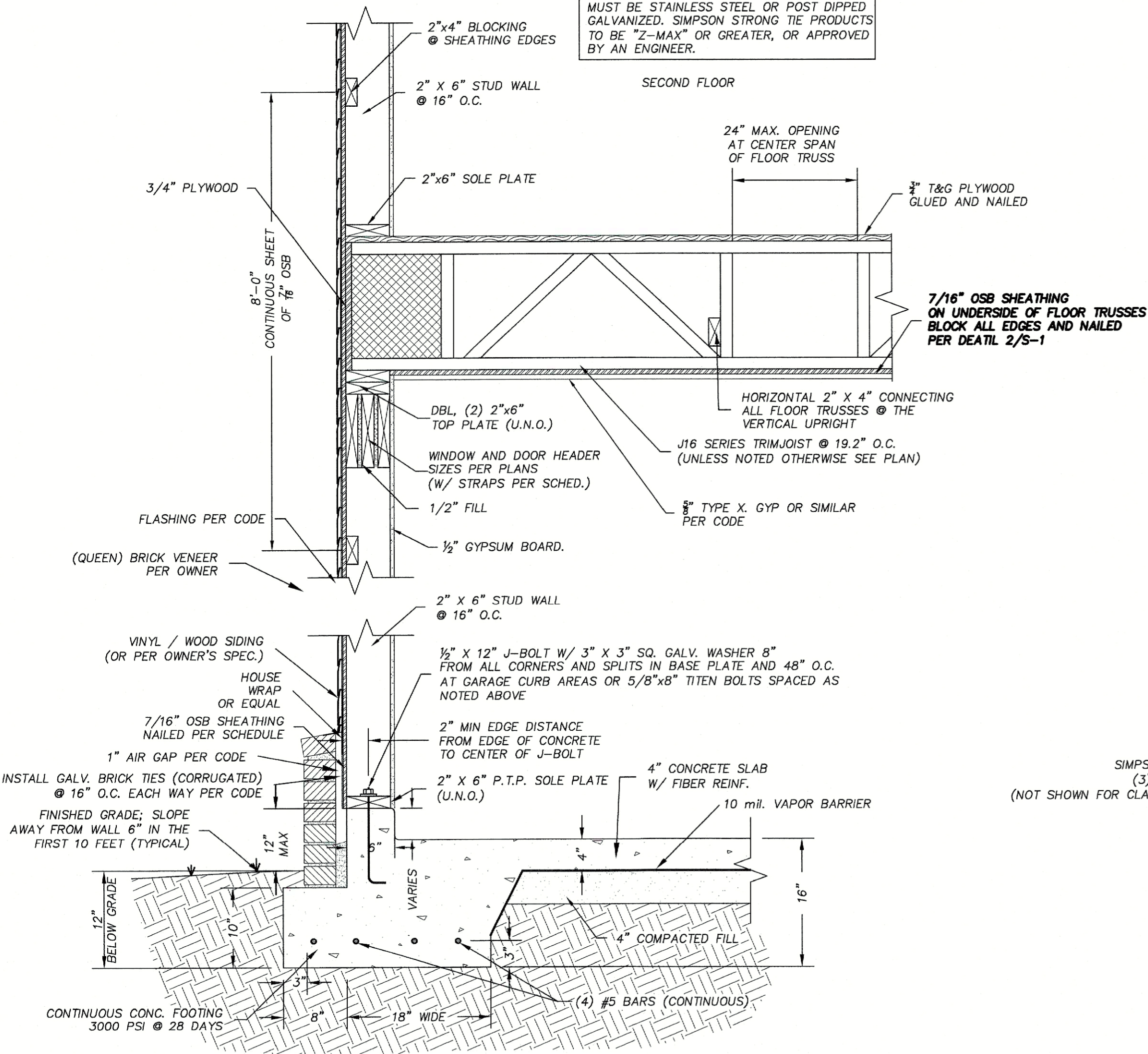
REVISIONS	No.	DATE	DESCRIPTION

**BOAT HOUSE**  
802 CHURCH STREET, GEORGETOWN, SC  
PREPARED FOR  
CGS HOLDINGS, LLC

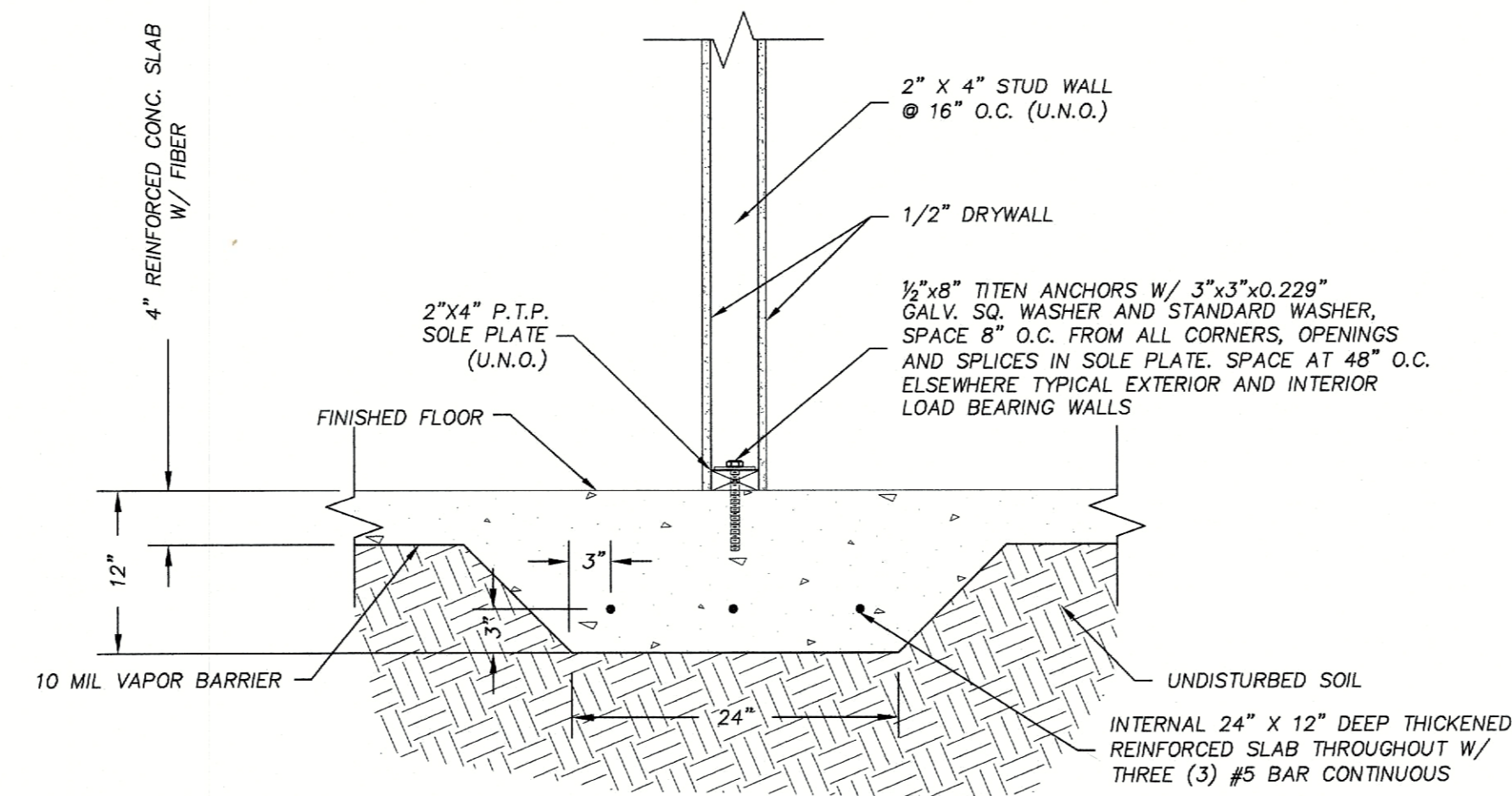




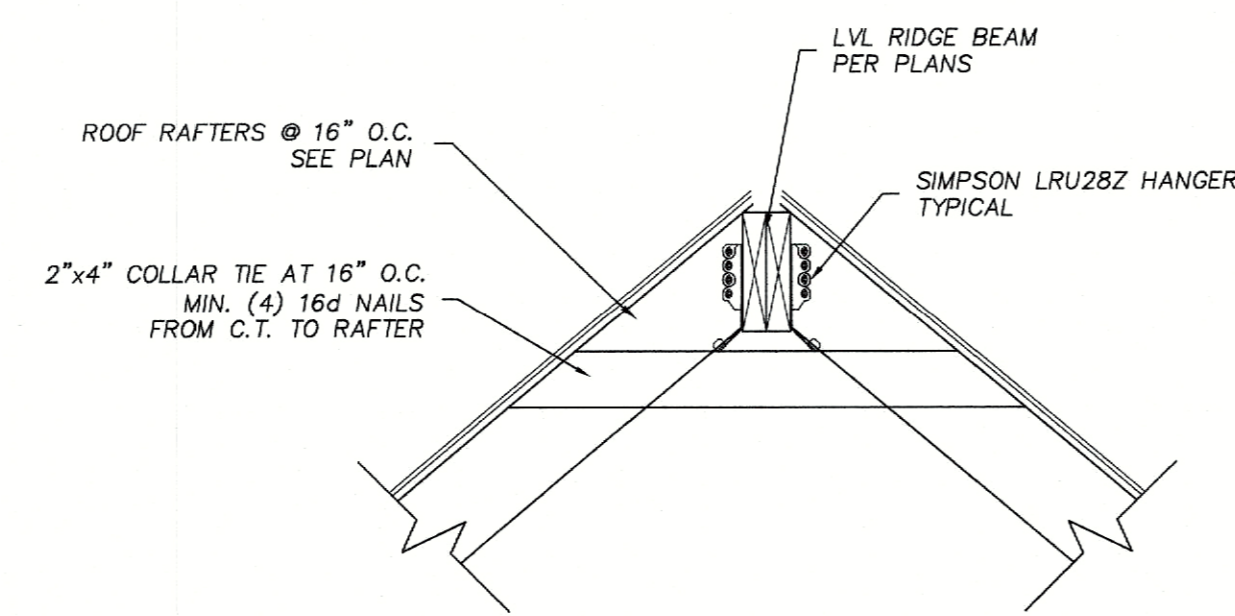
NOTE:  
ALL FASTENERS COMING IN CONTACT WITH ACO PRESSURE TREATED LUMBER MUST BE STAINLESS STEEL OR POST DIPPED GALVANIZED. SIMPSON STRONG TIE PRODUCTS TO BE "Z-MAX" OR GREATER, OR APPROVED BY AN ENGINEER.



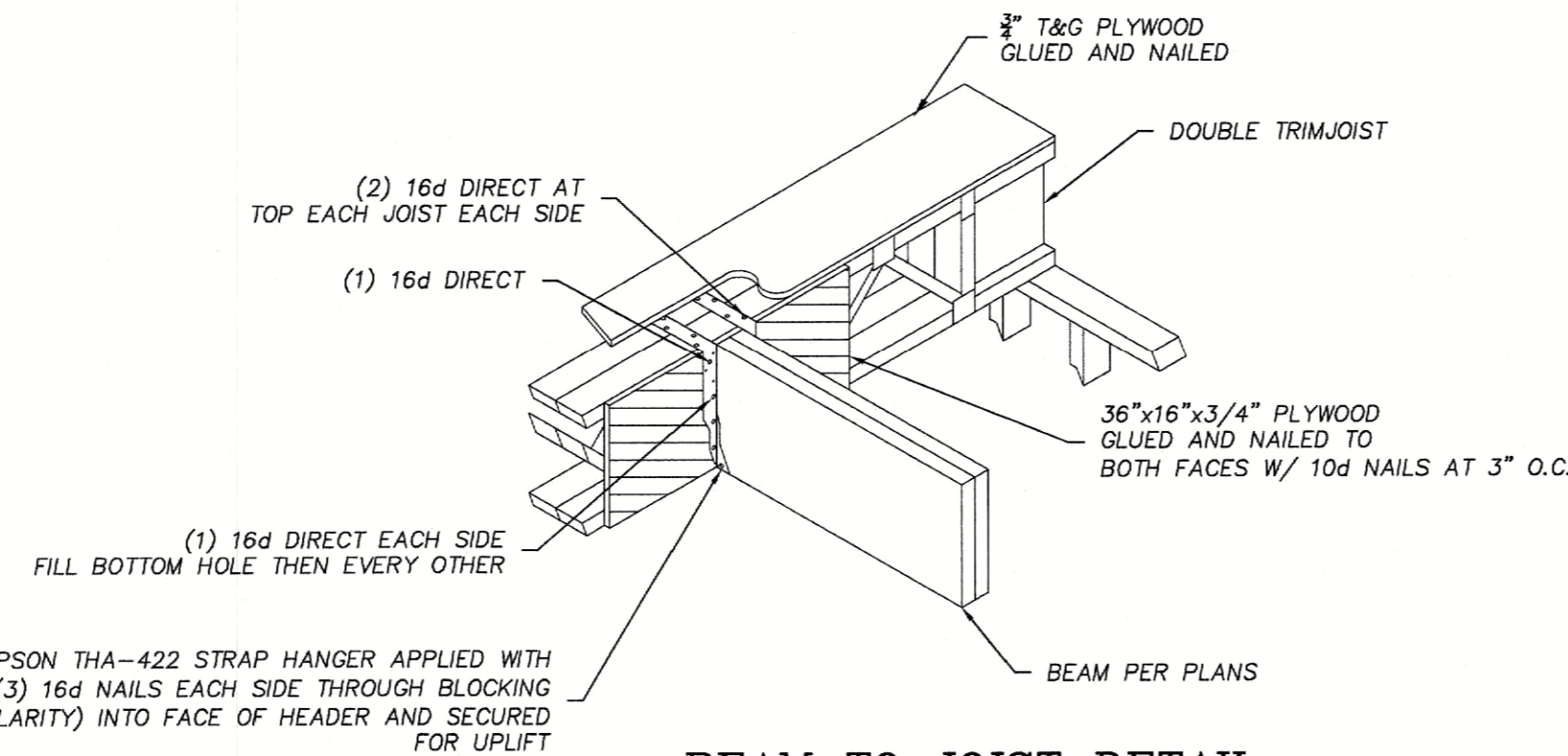
1 TYPICAL WALL SECTION  
S-3 SCALE: 1" = 1'-0"



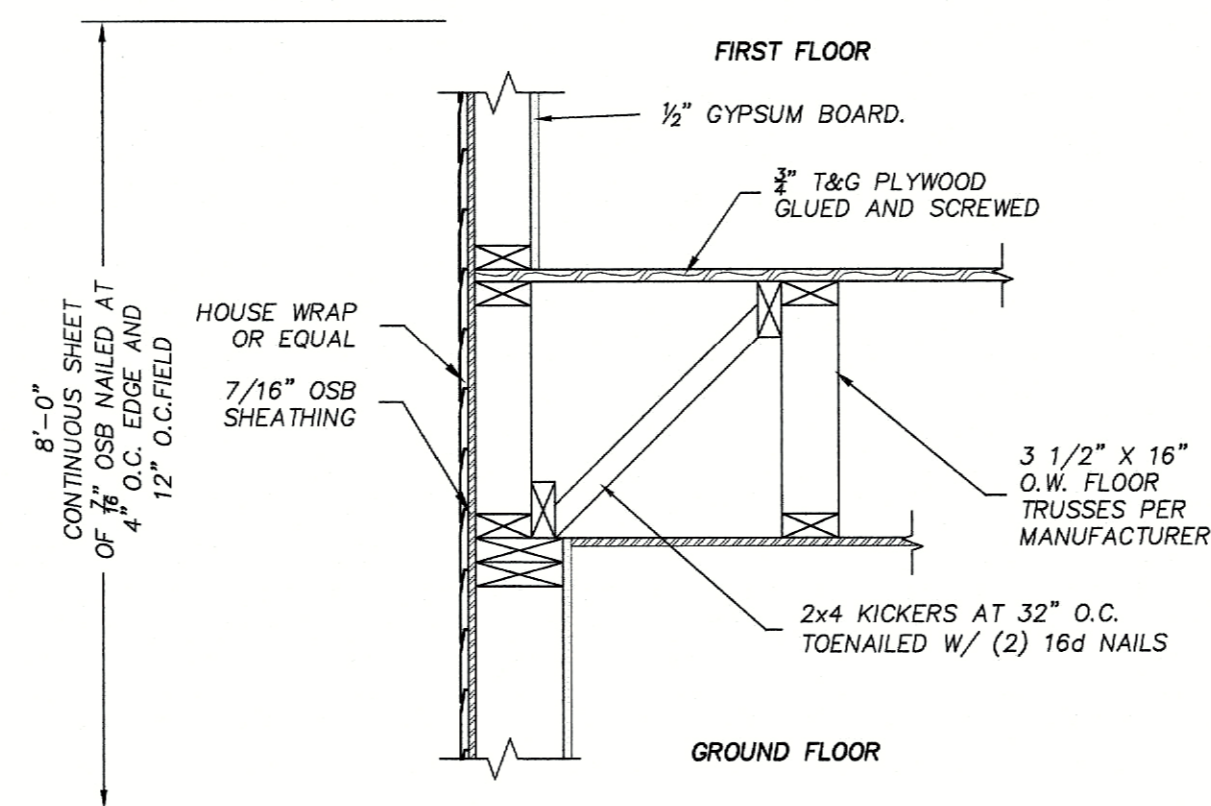
2 INTERIOR LOAD BEARING WALL DETAIL  
S-3 SCALE: 1 in. = 1 ft.



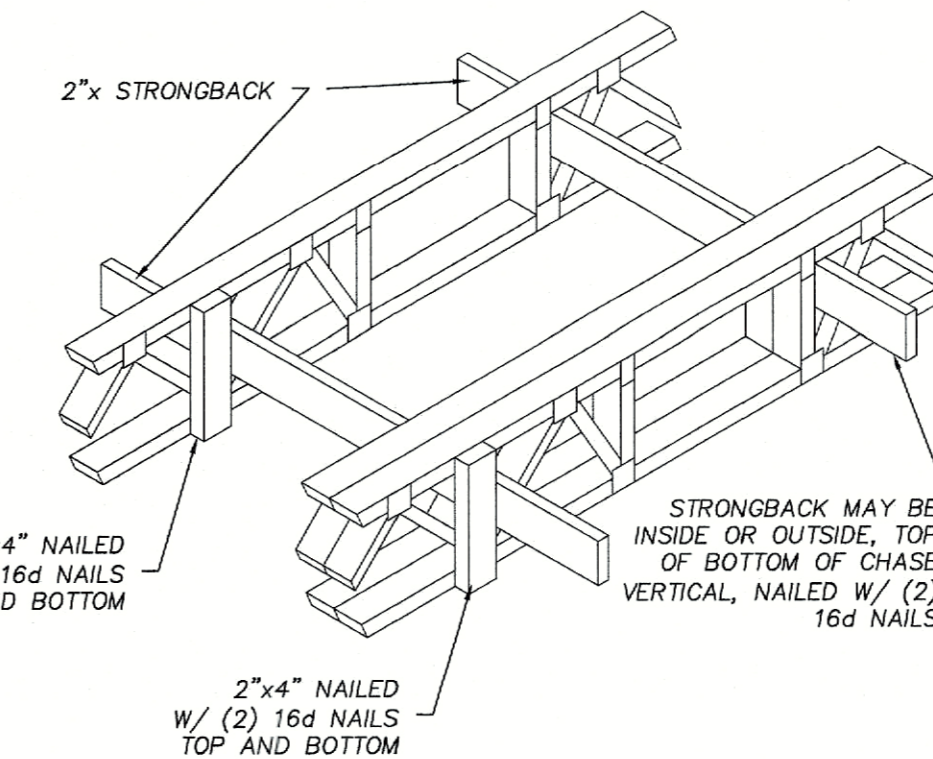
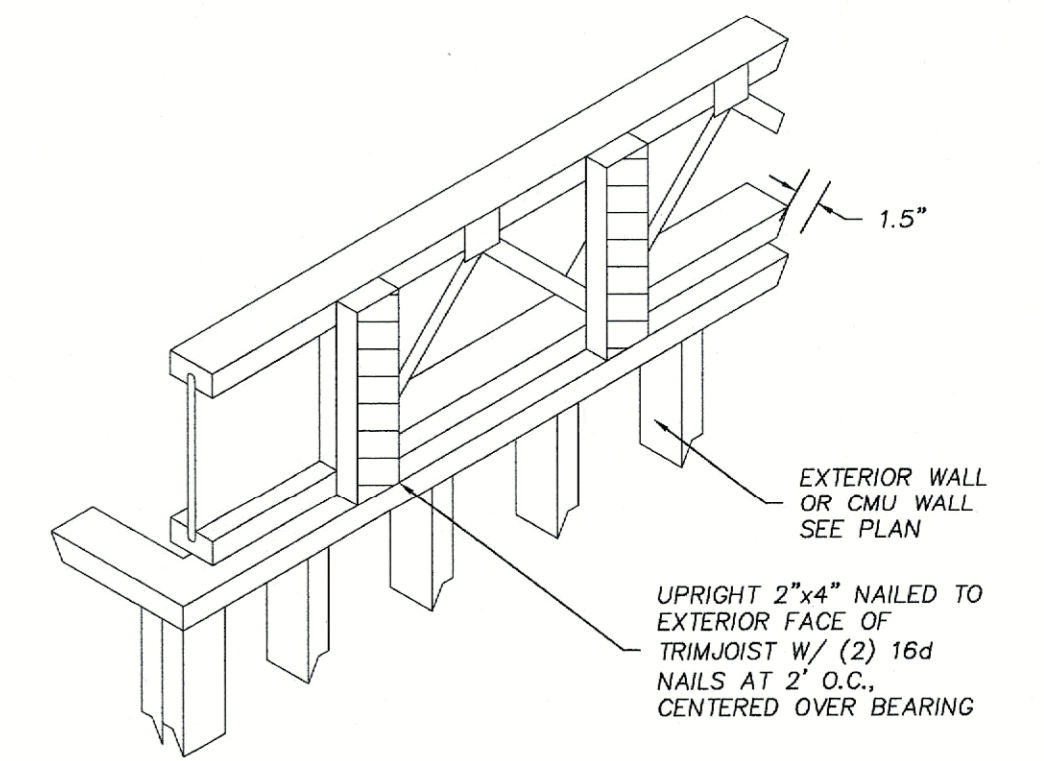
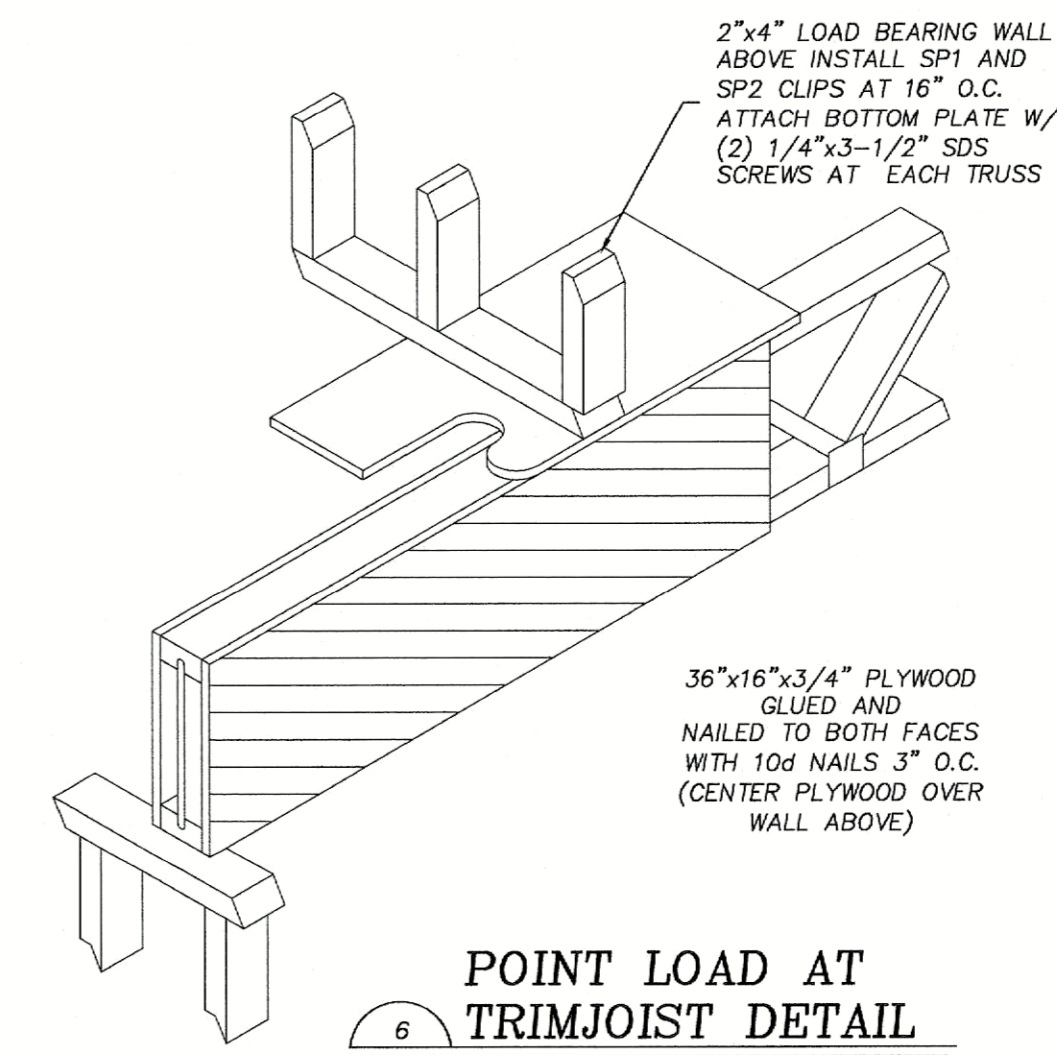
3 RIDGE BEAM DETAIL  
S-3 SCALE: N.T.S.



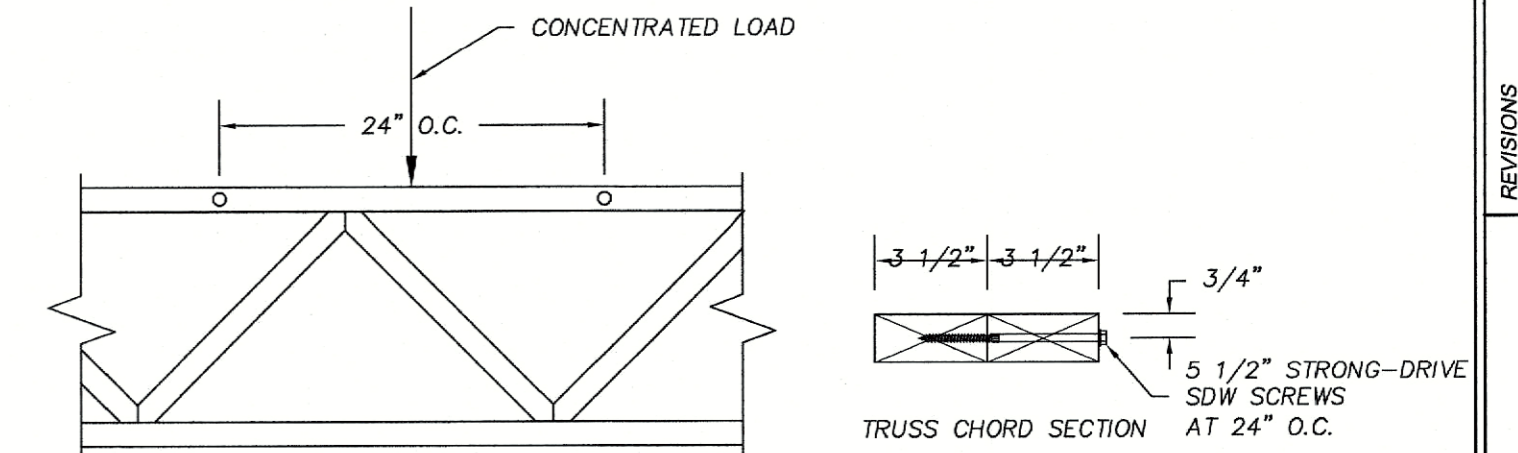
4 BEAM TO JOIST DETAIL  
S-3 SCALE: 1"=1'-0"



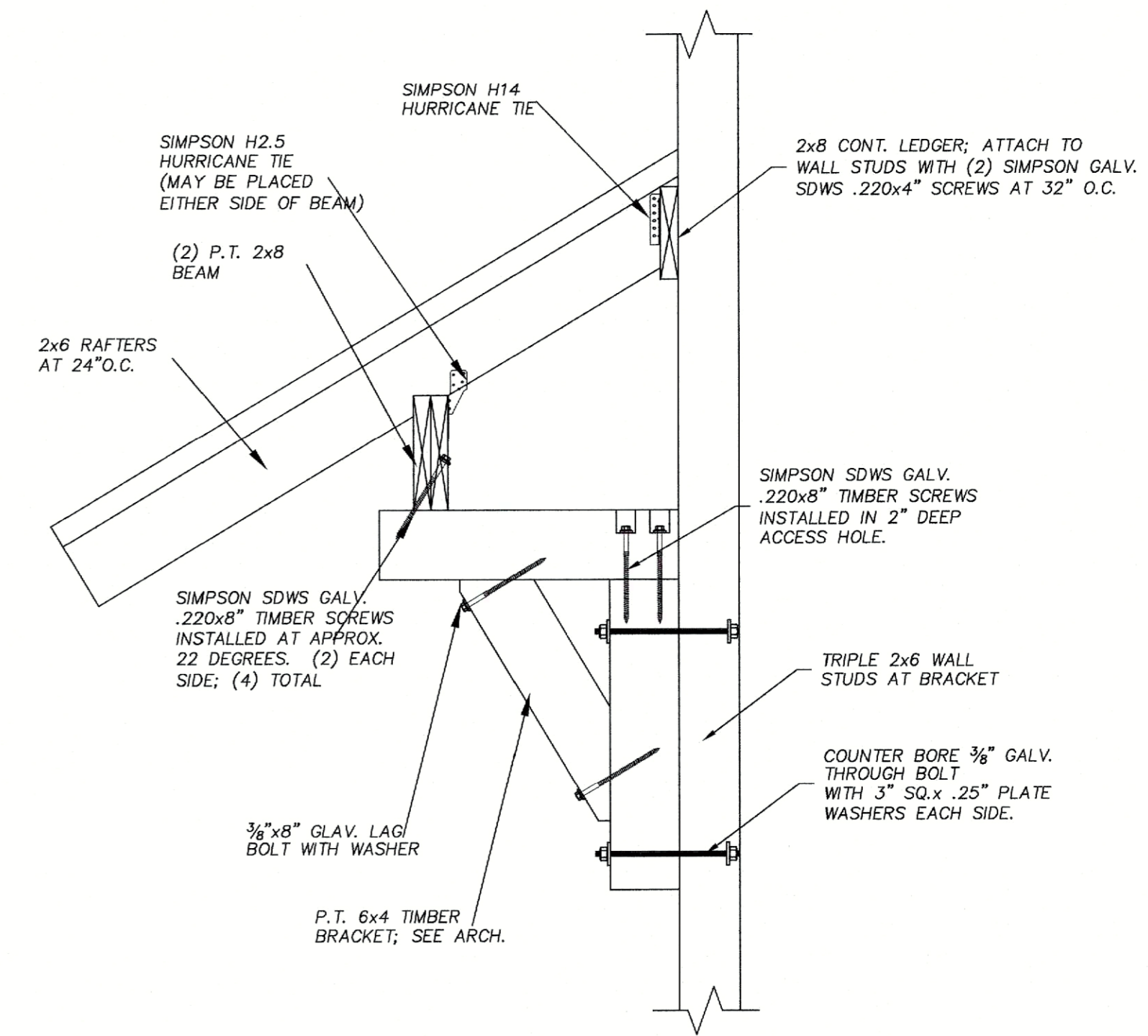
5 WALL BRACING AT PARRALEL TRUSSES  
S-3 SCALE: N.T.S.



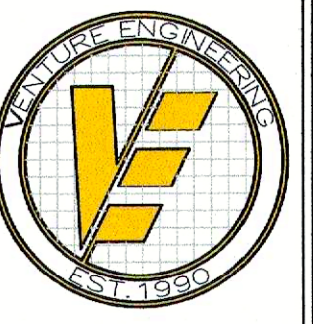
8 STRONGBACK APPLICATION DETAIL  
S-3 SCALE: 1"=1'-0"



9 MULT-PLY CONNECTION DETAIL  
S-3 SCALE: 1"=1'-0"



10 BRACKET DETAIL AT LOW SHED ROOF  
S-3 SCALE: 1" = 1'-0"



209 HIGHWAY 544  
CONWAY, SC 29528  
843-347-5851

SHEET No.: 3 OF 3  
DATE: FEBRUARY 16, 2026  
DRAWN BY: R.P.M.  
CHECKED BY: C.W.H.  
THESE PLANS ARE AN INSTRUMENT OF PROFESSIONAL SERVICE AND THE SOLE PROPERTY OF CGS HOLDINGS, LLC. NO PARTS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF CGS HOLDINGS, LLC.

REVISIONS	DATE	DESCRIPTION

**BOAT HOUSE**  
802 CHURCH STREET, GEORGETOWN, SC  
PREPARED FOR  
CGS HOLDINGS, LLC



S-3  
JOB # 2026-1648

MAYOR  
JAY DOYLE

CITY ADMINISTRATOR  
SCOTT WHITTIER

CITY CLERK  
STEPHANIE BUCCIONE



COUNCIL MEMBERS  
MAYOR PRO TEMPORE  
JESSIE WALKER

BRUCE CARL  
ERIN ETHRIDGE  
TAMIKA WILLIAMS-OBENG  
SHARON MELTON  
HOBSON HENRY MILTON

Planning and Community Development  
(843) 545-4010

## CITY OF GEORGETOWN COMMUNITY APPEARANCE BOARD

**MEETING DATE:** April 21, 2026

**AGENDA ITEM:** CAB-2026-0002 - **Request: Sign.** Request to establish two new signs on the front and side elevations of a commercial structure located at 407 Church St. (TMS#: 05-0030-038-00-00), within the GC Zoning District and the Urban Core Design Overlay.

### **Applicant's Request:**

Install (2) S/F Illuminated Wall Signs - 2'-0"H x 8'-0"W per attached binder.

---

---

---

---

---

---

---

1

Revised July 22, 2022

### **CURRENT STATUS:**

1. The property is owned by Sandman of Georgetown LLC.
2. The property is zoned General Commercial (GC) (*Reference item 1*).
3. The property is within the Urban Core Design Overlay District and the Historic Buildings District (*Reference item 1*).
  - a. Authority over alterations to this structure falls to the Community Appearance Board (*see applicable UCOD Guidelines Section 2152*).
  - b. There is a Historic District survey on file for this property (*survey included within packet*).
4. The 2040 Comprehensive Plan shows this property as Corridor Commercial (*Reference item 2*).
5. This property is not within a flood zone (*Reference item 3*).
6. The intended use of the property is commercial.

### **APPLICABLE UCOD GUIDELINES:**

#### **2152 Community Appearance Board Review (CAB)**

The CAB shall have jurisdiction over the exterior improvements or changes to multi-family and nonresidential developments within the jurisdictional boundaries of the UCOD. For parcels that are located in the Historic District and in the UCOD, the following shall be determinative as to jurisdiction:

**2152.101** Proposed projects that are on Contributing and non-contributing properties that are strictly a single-family use shall be presented to the ARB including demolitions of a single-family use.

**2152.102** All other proposed projects for two-family, multi-family, mixed-use or non-residential uses shall be presented to the CAB. When a project proposes to convert a single-family use to another use, the ARB shall have jurisdiction over a demolition request, and the CAB shall have jurisdiction over the proposed new construction.

## **2164 Sign Design Standards**

Signage shall meet all applicable requirements of Article XVII: Sign Regulations are subject to CAB approval, and must meet all applicable Building Codes in addition to the following requirements:

**2164.1** The location and dimension of wall signs shall be indicated upon the architectural elevations of the proposed structures. Wall signs shall fit within the confines of the architectural details of the building and not obscure or detract from those features.

**2164.2** Signs (monument and wall signs) shall complement the architectural style of the building and shall be designed as an architectural element of the building.

**2164.3** The materials, colors, and lighting of signs shall be compatible with the materials used in the construction of the building. Lighting must point downward. Landscaping of monument signs is required and subject to CAB approval.

## **APPLICABLE ZONING CODES:**

### **404.2 Urban Core Overlay District**

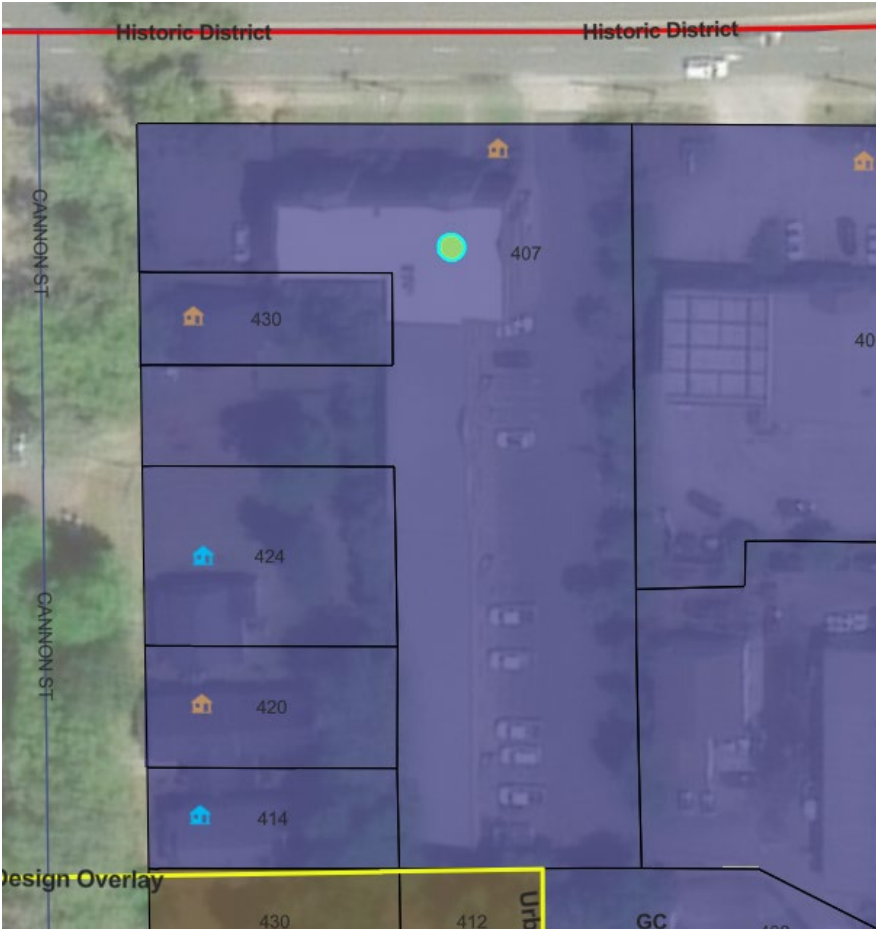
It is the intent of this district to delineate a design overlay through the main corridors. The purpose of establishing this overlay is to identify areas of the City which reflect the culture of the City of Georgetown, protect and enhance the aesthetic and visual character of all commercial and residential development within the overlay district, promote the cultural, economic and general welfare of the people of Georgetown, foster civic pride, encourage harmonious, orderly and efficient growth and development of the City of Georgetown, and improve property values.

## **OPTIONS:**

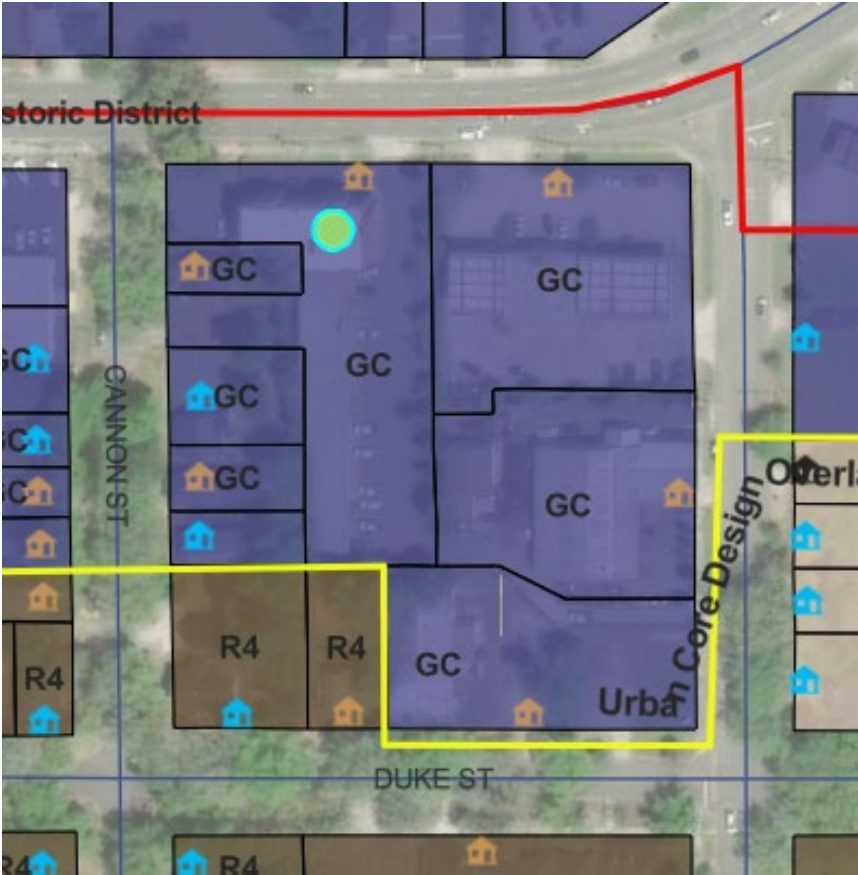
1. Approve request as submitted by applicant.
2. Approve application with conditions imposed by the Community Appearance Board.
3. Deny request.
4. Defer request for more information. *(A time frame for deferral must be agreed upon between the board and the applicant)*

**REFERENCE MATERIALS**

**REFERENCE ITEM 1:** City of Georgetown Zoning Map

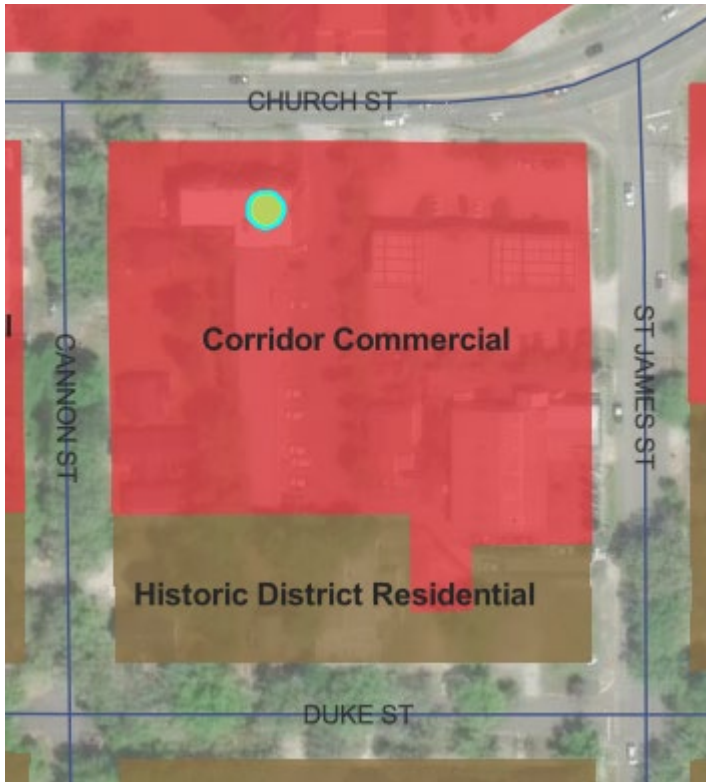


Parcel View



Block View

**REFERENCE ITEM 3:** Future land use designation.



**REFERENCE ITEM 4:** FEMA Flood Map.



Flood zone	<b>AE</b>
Coastal A zone	No
Supplemental Coastal A	No
In Floodway	No
In CBRS	No
In OPA	No
Base Flood Elevation	<b>10.0'</b>
Design Flood Elevation	<b>12.0'</b>

*Please note, Fourrunner parcel lines and addresses may not be up to date.*

**Statewide Survey of Historic Properties**  
State Historic Preservation Office  
South Carolina Department of Archives and History  
8301 Parklane Rd.  
Columbia, SC 29223-4905 (803) 896-6100

Control Number: U / 43 / 191-0780  
Status County No Site No  
Quad Name: Georgetown South  
Tax Map No.: 05-0030-038-00-00

**Intensive Documentation Form**

**Identification**

Historic Name:  
Common Name: Nextstep/T-Mobile/Law Offices of David L. Hood  
Address/Location: 407 Church Street

City: Georgetown County: Georgetown

Vicinity of:

Ownership: Private Category: building  
Historical Use: Commerce/Trade  
Current Use: Commerce/Trade

**National Register of Historic Places Information**

SHPO National Register Determination: Not Eligible  
Notes on National Register Status: This resource dates from after 1960 and is a non-contributing resource in the Georgetown Historic District.

Other Designation:

**Property Description**

Construction Date: 1990 Commercial Form: other Stories: 2 stories

Alteration Date: Historic Core Shape: rectangular

*Roof Features*

Shape: flat

Materials: not visible

*Porch Features*

Porch Width:

Shape:

Construction Method: masonry

Exterior Walls: brick veneer

Foundation: not visible

Significant Architectural Features: 1-light windows with transom and rowlock sills and soldier course lintels, multiple projecting gable bays, rear ell.

Alterations:

Architect(s)/Builder(s):

**Historical Information**

Historical Information:

Source of Information:

**Photographs**

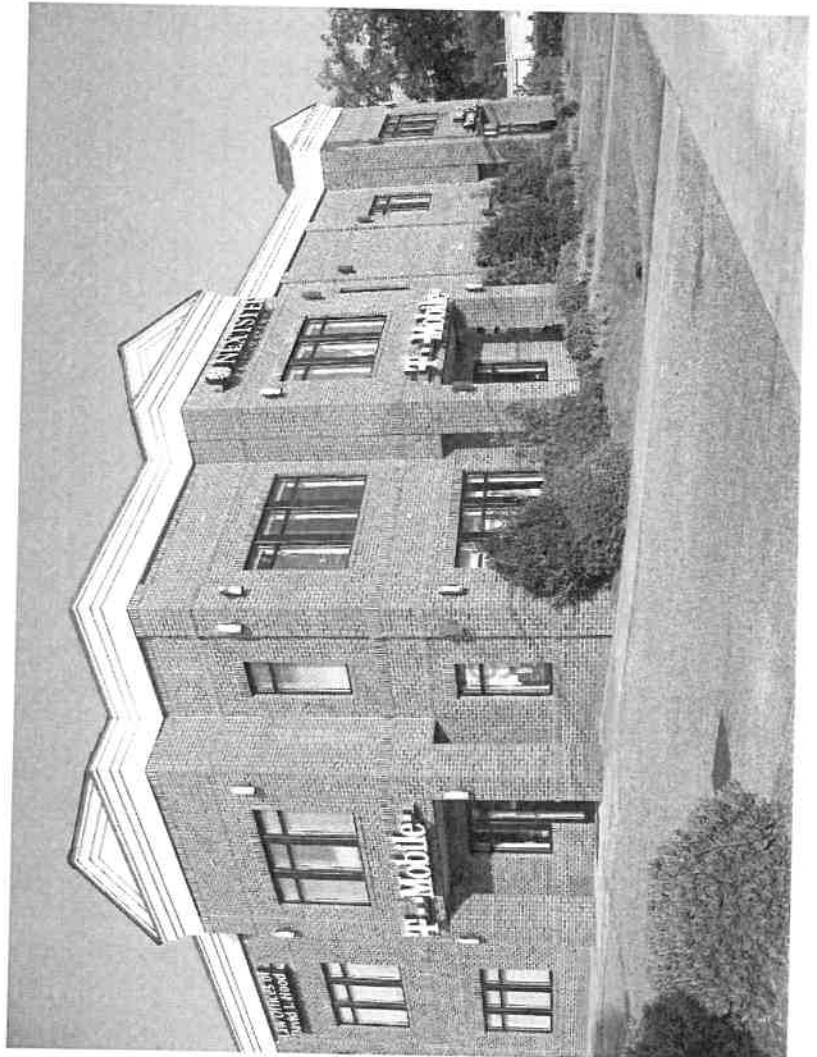
Roll No. Neg. No. View of  
Façade and Side Elevation, Facing N

Use Grid for Sketching

CANNON STREET

191-0780

CHURCH STREET



**Program Management**

Recorded by: Ellen Jenkins (TRC)

Date Recorded: 6/24/2010



15-Jan-26

Tidelands Comm Hospice

Tidelands Comm Hospice

407 Church St.

Illum. Wall Signs

D. Jenkins/DS

B. Paul

1" = 1' - 0"

63876-a2

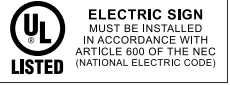
REV	DATE	BY	NOTE

©2025 Tyson Sign Company

This design and illustration is the original and unpublished work of Tyson Sign Company, Inc., and it may not be reproduced, copied or exhibited in any fashion without written consent from an authorized officer of our company.



1-843-448-5168  
Fax: 843-448-0535



WORK AUTHORIZATION

JOB

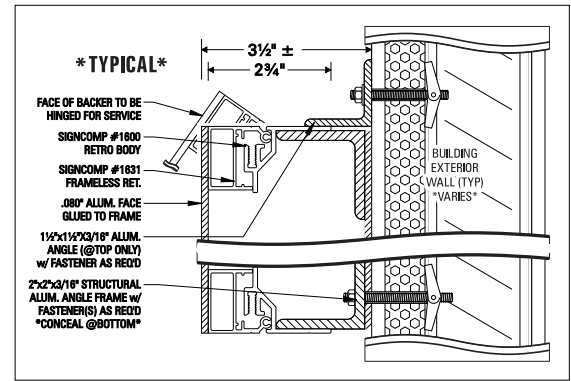
94590

Tidelands Hospice

28-JAN-2026 DATE

94590-63876-a2 FILE

REV	DATE	BY	NOTE



CABINET DETAILS  
Top/bottom of cabinet (for ref. only) | NTS



INSTALLED 1 of 2 - Photo Edit  
For Reference Only | NTS



INSTALLED 2 of 2 - Photo Edit  
For Reference Only | NTS

NOTES

- S/F fabricated aluminum sign cabinet(s) with hinged face access, to support letters & house all power supplies (see "Cabinet Detail")
- Routed aluminum face(s) for logo and "TIDELANDS COMMUNITY HOSPICE" letters with 1" thick push-thru clear acrylic and translucent vinyl graphics as shown
- LED internal illumination (typical)

ELECTRICAL:

- Signage to be wired for 120V
- LED's - Principal Quick Mod 2 - 42 ft' (Per sign)
- Power Supplies: Principal PS 12/60 (one per sign)
- AMPS: PER SIGN: 1.1 AMPS

INSTALLATION:

- Cabinet(s) mount flush against building fascia as required

COLORS

COLORS SHOWN ARE REPRESENTATIVE ONLY

- 1 White (paint)
- 2 Blue PMS #302c (vinyl, print to match)
- 3 Digital Print (vinyl, print to match)



## Planning & Community Development

### 2026 Planning Application Schedule

Architectural Review Board		Board of Zoning Appeals		Community Appearance Board		Planning Commission	
Application Deadline	Meeting Date	Application Deadline	Meeting Date	Application Deadline	Meeting Date	Application Deadline	Meeting Date
<i>First Monday of the Month 5:30 PM</i>		<i>First Wednesday of the Month 6:00 PM</i>		<i>Third Tuesday of the Month 5:30 PM</i>		<i>Fourth Tuesday of the Month 6:00 PM</i>	
December 10, 2025	January 5, 2026	December 10, 2025	January 7, 2026	December 10, 2025	January 20, 2026	December 10, 2025	January 27, 2026
January 17, 2026	February 2, 2026	January 17, 2026	February 4, 2026	January 17, 2026	February 17, 2026	January 17, 2026	February 24, 2026
February 11, 2026	March 2, 2026	February 11, 2026	March 4, 2026	February 11, 2026	March 17, 2026	February 11, 2026	March 24, 2026
March 11, 2026	April 6, 2026	March 11, 2026	April 1, 2026	March 11, 2026	April 21, 2026	March 11, 2026	April 28, 2026
April 8, 2026	May 4, 2026	April 8, 2026	May 6, 2026	April 8, 2026	May 8, 2026	April 8, 2026	May 26, 2026
<b>----- New deadlines take effect -----</b>							
May 4, 2026	June 1, 2026	May 4, 2026	June 3, 2026	May 18, 2026	June 16, 2026	May 22, 2026	June 23, 2026
June 8, 2026	July 6, 2026	June 1, 2026	July 1, 2026	June 22, 2026	July 21, 2026	June 29, 2026	July 28, 2026
July 6, 2026	August 3, 2026	July 6, 2026	August 5, 2026	July 20, 2026	August 18, 2026	July 27, 2026	August 25, 2026
August 10, 2026	September 7, 2026	August 3, 2026	September 2, 2026	August 17, 2026	September 15, 2026	August 24, 2026	September 22, 2026
September 7, 2026	October 5, 2026	September 7, 2026	October 7, 2026	September 21, 2026	October 20, 2026	September 28, 2026	October 27, 2026
October 5, 2026	November 2, 2026	October 5, 2026	November 4, 2026	October 19, 2026	November 17, 2026	October 26, 2026	November 24, 2026
November 9, 2026	December 7, 2026	November 2, 2026	December 2, 2026	November 16, 2026	December 15, 2026	November 23, 2026	December 22, 2026
December 7, 2026	January 4, 2027	December 7, 2026	January 6, 2027	December 21, 2026	January 19, 2027	December 28, 2026	January 26, 2027
January 4, 2027	February 1, 2027	January 4, 2027	February 3, 2027	January 18, 2027	February 16, 2027	January 25, 2027	February 23, 2027

*Staff will have 5 business days to deem an application complete or incomplete. All applications should be submitted to [planning@georgetownsc.gov](mailto:planning@georgetownsc.gov)*