



REGULAR MEETING OF COMMUNITY APPEARANCE BOARD

JULY 21, 2026 - 5:30 PM

MUNICIPAL COURTROOM
2222 HIGHMARKET STREET
GEORGETOWN, SOUTH CAROLINA

Notice of this meeting has been made in accordance with the South Carolina Code of Laws as amended.

I. CALL TO ORDER

II. APPROVAL OF MINUTES

- A. Approval of Minutes from the June 16, 2026 Community Appearance Board Regular Meeting

III. PUBLIC INPUT ON NON-AGENDA ITEMS

IV. OLD BUSINESS

V. NEW BUSINESS

- A. **CAB-2026-0007 - Request: Signs. 1001 North Fraser Street. TMS# 05-008-012-00-00.** Request to establish a new monument sign.

1. Staff Presentation
2. Applicant Presentation *(5 minute time limit)*
3. Public Input *(Chairman to determine time limit)*
4. Applicant Reply
5. Motion and Board Discussion

- B. **CAB-2026-0008 - Request: Signs. 418 Wood Street. TMS# 05-0027-047-01-00.** Request to install one non-illuminated wall sign.

1. Staff Presentation
2. Applicant Presentation *(5 minute time limit)*
3. Public Input *(Chairman to determine time limit)*
4. Applicant Reply
5. Motion and Board Discussion

- C. **CAB-2026-0009 - Request: Signs. 401 Church Street. TMS# 05-0030-040-00-00.** Request to replace existing signs for Speedway with new signs for BP.

1. Staff Presentation
2. Applicant Presentation *(5 minute time limit)*
3. Public Input *(Chairman to determine time limit)*
4. Applicant Reply
5. Motion and Board Discussion

VI. BOARD DISCUSSION

**VII. MOTION TO AUTHORIZE STAFF TO TYPE HANDWRITTEN CHANGES ON THE ORDERS
OF THE BOARD**

VIII. ADJOURNMENT

MAYOR
JAY DOYLE

CITY ADMINISTRATOR
SCOTT WHITTIER

CITY CLERK
STEPHANIE BUCCIONE



Planning and Community Development
(843) 545-4010

COUNCIL MEMBERS
MAYOR PRO TEMPORE
JESSIE WALKER

BRUCE CARL
ERIN ETHRIDGE
TAMIKA WILLIAMS-OBENG
SHARON MELTON
HOBSON HENRY MILTON

CITY OF GEORGETOWN COMMUNITY APPEARANCE BOARD

MEETING DATE: July 21, 2026

AGENDA ITEM: CAB-2026-0007 - Request: Signs. 1001 North Fraser Street. TMS# 05-008-012-00-00.
Request to establish a new monument sign.

The following sign is being requested:

1. Remove and relocate a monument sign. The new monument sign is 8" x 9'4" in size.

CURRENT STATUS:

Applicant:	Tyler Russell, Shamrock Signage
Property Owner:	BOCAT Holdings, LLC
Zoning District:	General Commercial (GC) <i>(Reference item 1)</i>
Overlay District:	Main Corridor Design Overlay District (MCOD) <i>(Reference item 1)</i>
2040 Comprehensive Plan – FLUM:	Corridor Commercial <i>(Reference item 2)</i>
Flood Zone:	Zone X. (None)
Intended Use of the Property:	Professional Office

APPLICABLE COMMERCIAL CORRIDOR DESIGN OVERLAY DISTRICT GUIDELINES:

2105 Certificate of Approval Required

A COA must first be obtained prior to the initiation of work within the Main Corridor Design Overlay. Approvals are granted by the Community Appearance Board through the issuance of a COA.

2116 Sign Design Standards

2116.1 Signage shall meet all applicable requirements of Article XVII: Sign Regulations and all applicable Building Codes in addition to the following requirements set forth within the MCOD.

2116.101 The location and dimension of wall signs shall be indicated upon the architectural elevations of the proposed structures.

2116.102 Signs (monument and wall signs) shall complement the architectural style of the building and shall be designed as an architectural element of the building.

2116.103 The materials, colors, and lighting of signs shall be compatible with the materials used in the construction of the building.

2116.104 Wall signs shall fit within the confines of the architectural details of the building and not obscure or detract from those features.

2117 Landscaping/Buffer Requirements

All landscape plans must be submitted to and approved by the Zoning Administrator.

2121 Landscape requirements for Monument Signs.

A landscape border of a minimum of three (3') feet in depth and a minimum width equal to the greatest width of the sign shall be required for all monument signs. The landscape border shall contain one (1) shrub per three (3) linear feet with appropriate ground cover. No portion of the sign shall project beyond the landscape border.

APPLICABLE ZONING CODES:

1714.1 Perpendicular Signs:

Each parcel shall be permitted one (1) of the following types of signs provided all applicable requirements are met.

1714.101 Monument Freestanding Sign: Each parcel shall be permitted one (1) freestanding sign provided that:

- (1) Number:** One (1) monument freestanding sign shall be permitted per lot except where a lot has parallel road frontages; then one (1) monument freestanding sign for each frontage shall be permitted provided the signs are located at a minimum of one hundred (100) linear feet from each other. A lot with two or more businesses located on it shall be permitted one (1) monument sign for the entire premises and shall be subject to all requirements stated herein.
- (2) Sign Area:** The gross surface area per sign face shall not exceed a square footage greater than forty percent (40%) [Thirty percent 30% in Neighborhood Commercial] of the principal street frontage of the premise upon which the sign is to be located; and the aggregate gross surface area shall not exceed a total square footage greater than twice the permitted square footage of one (1) sign face. The maximum gross surface area permitted for a monument sign shall be one hundred fifty (150) square feet [sixty (60) square feet in Neighborhood Commercial] per sign face and an aggregate gross surface area of three hundred (300) square feet [one hundred twenty (120) square feet in Neighborhood Commercial]. If the principal street frontage is less than thirty (30) feet no monument sign shall be permitted.
- (3) Location:** The nearest point of a monument sign shall be located at a minimum of ten (10) feet from any right-of-way line or adjacent property boundary. No monument sign shall extend over any structure or adjoining property line. No monument sign shall be located within thirty (30) linear feet of another monument sign.
- (4) Width and Height:** The width of the supporting sign base may not be less than the width of the sign face. Monument Freestanding signs shall not exceed eight (8) feet in height.

OPTIONS:

1. Approve request, as submitted by applicant.
2. Approve application with conditions imposed by the Community Appearance Board.
3. Deny request.
4. Defer request for more information. *(A time frame for deferral must be agreed upon between the board and the applicant)*

REFERENCE MATERIALS

REFERENCE ITEM 1: City of Georgetown Zoning Map

Parcel View



Block View



REFERENCE ITEM 2: Future land use designation.



Date Filed: _____

CAB Request FormAppeal #: CAB-2026-0007**Description of Request:**

The owner's of 1001 N. Fraser St. are requesting a redesign the office building's monument sign and relocation from its existing location at N. Congdon to a new location closer to N. Fraser.

List of materials to be used:

Brick (to match building)
8x8 pressure treated pine timbers (painted to match building trim color)
Routed PVC sign panels

In addition to this application, the following supporting materials have been submitted.

I certify that all the information included within this application is accurate and true:

Signature:

Date:



5/26/26

FOR OFFICE USE ONLY

Appeal Number:

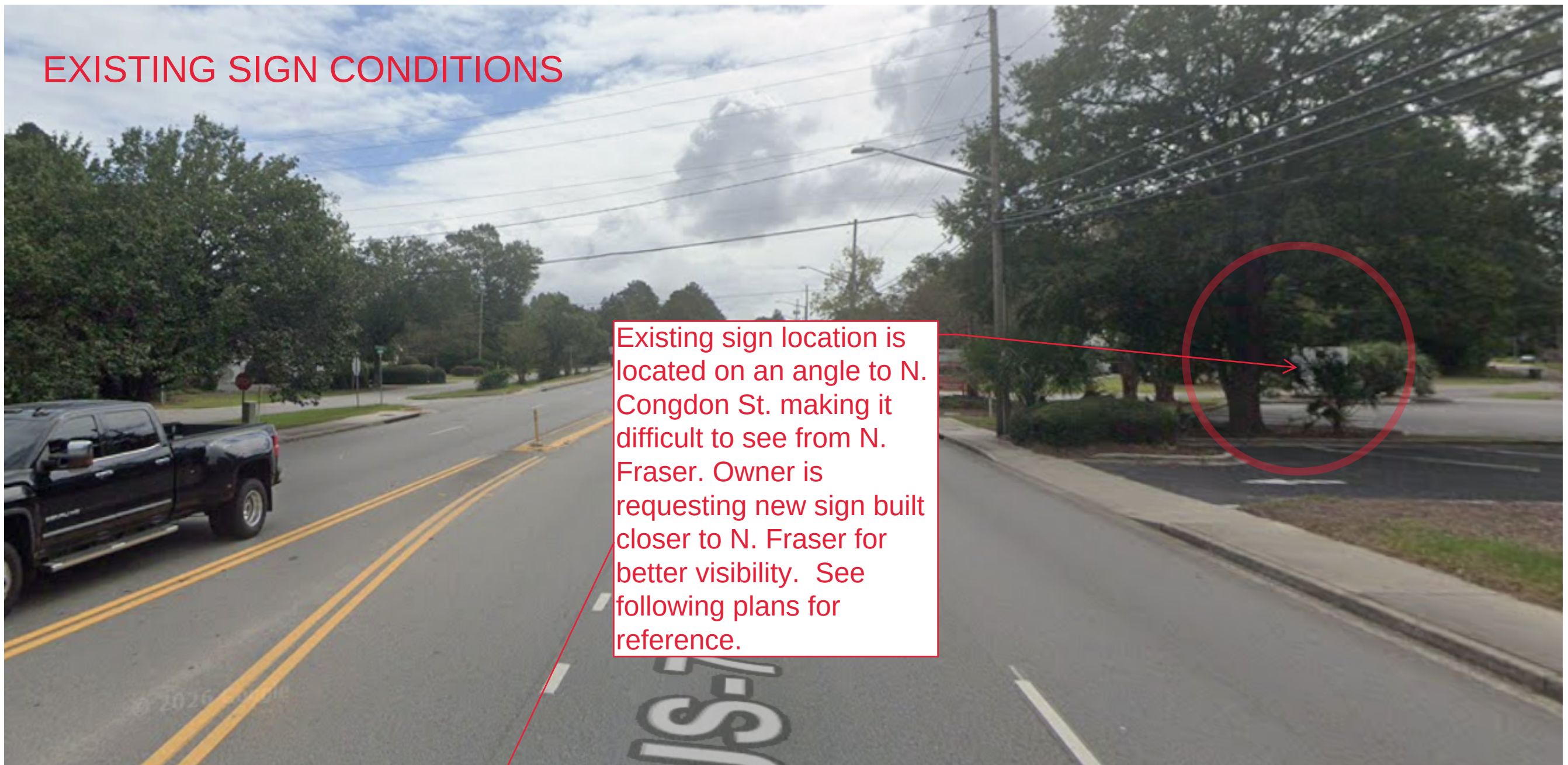
Applicable fee:

Date Received:

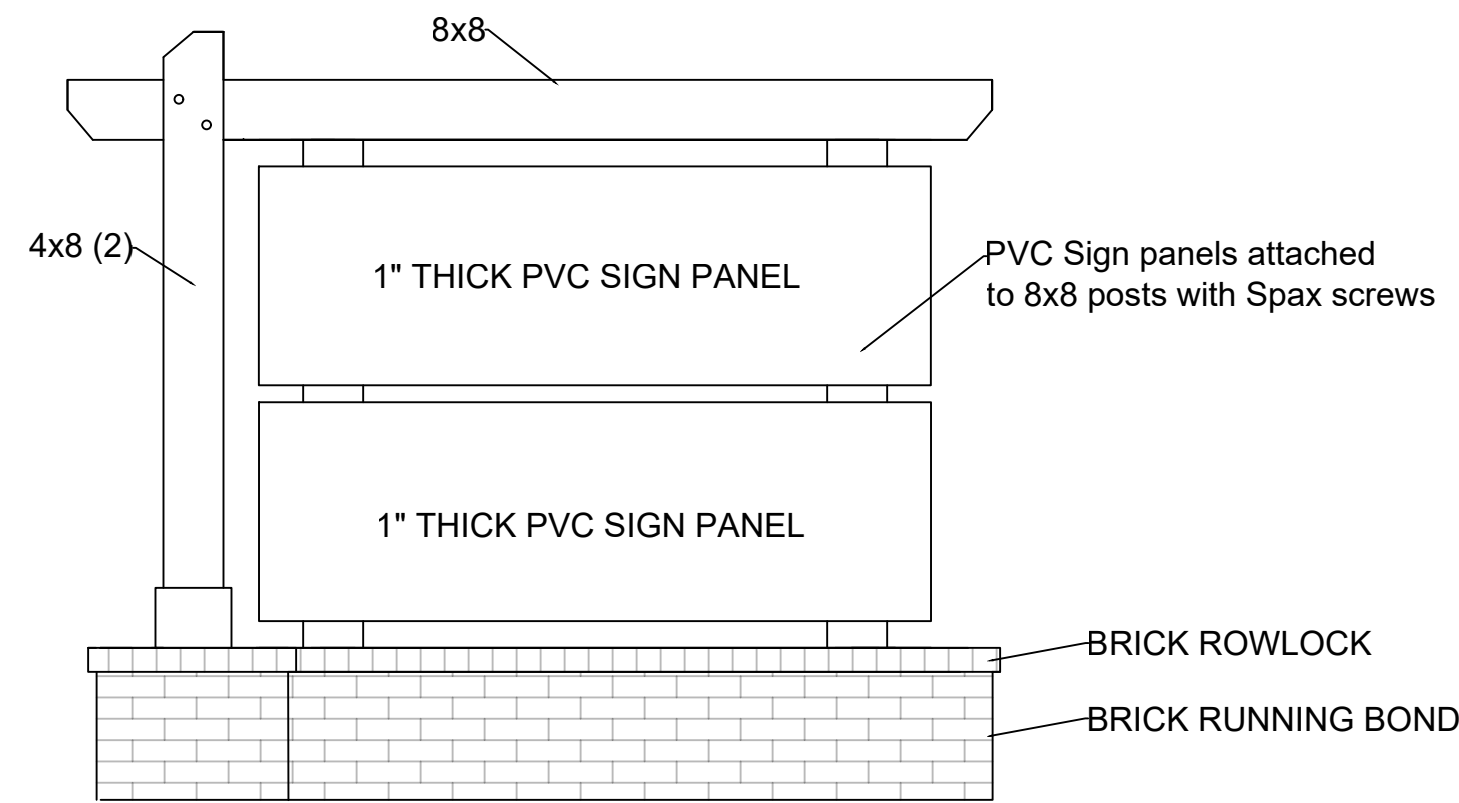
Meeting Date:

Code Compliance**Building Code:****Flood Code:****Zoning Code:****Notes:**

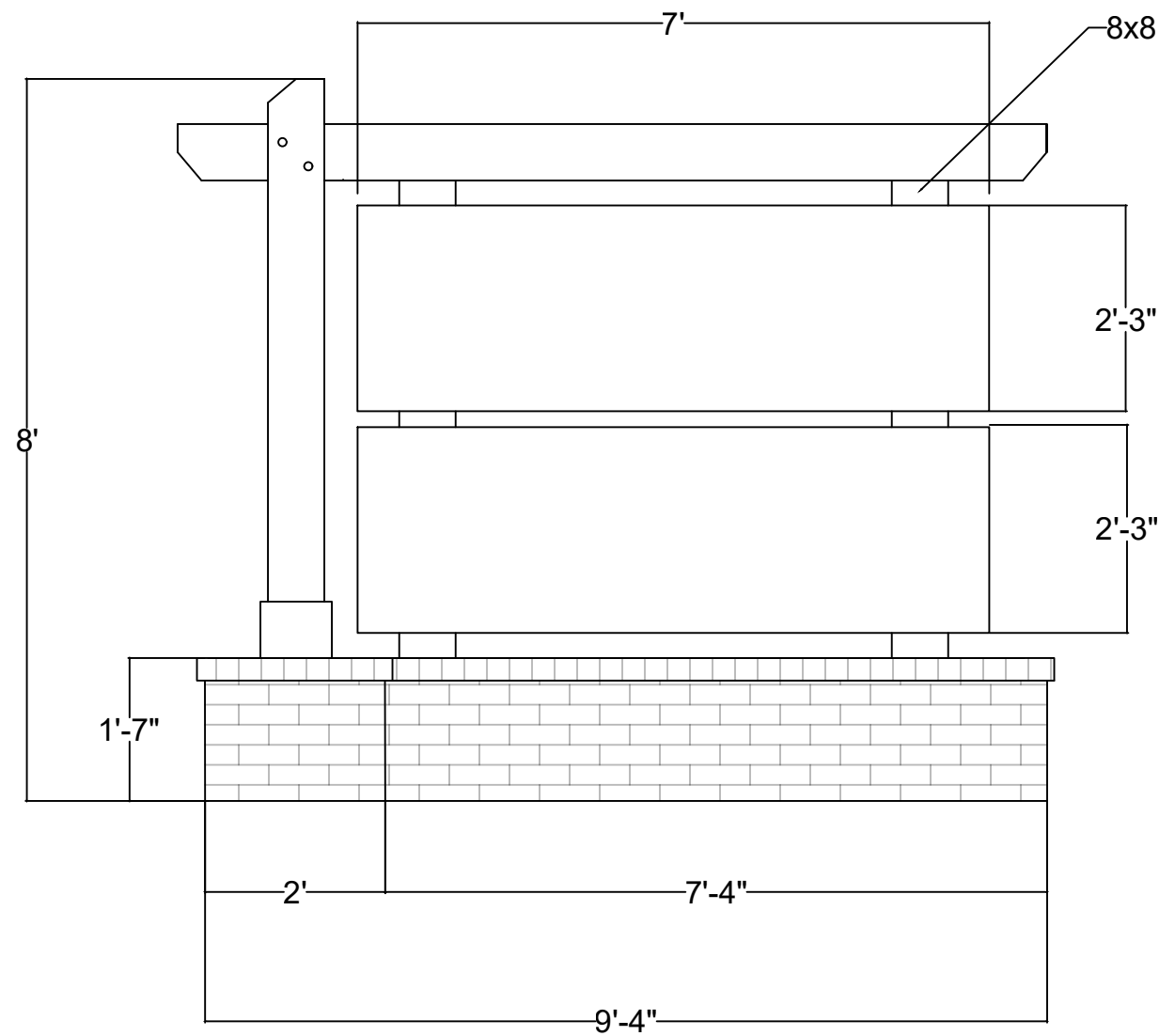
EXISTING SIGN CONDITIONS



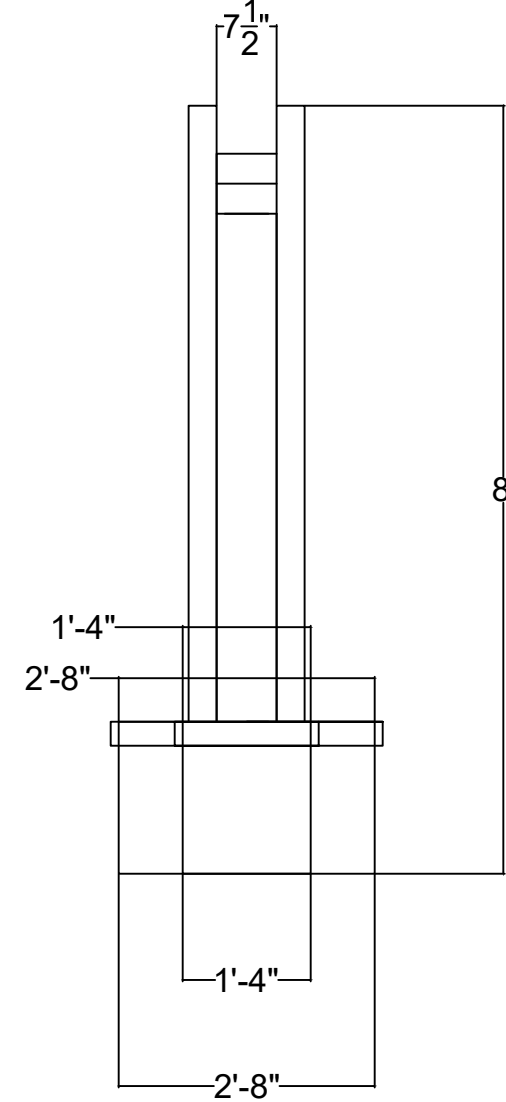
NEW SIGN PLAN



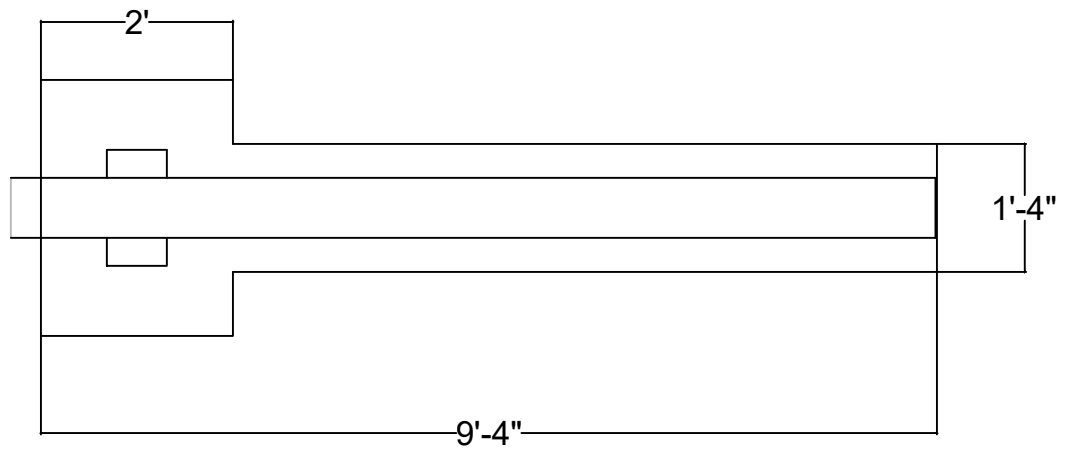
1 Sign Elevation / Schematic
Scale: 1/2" = 1'



2 Side Elevation
Scale: 1/2" = 1'



3 Front Elevation
Scale: 1/2" = 1'



4 Plan View
Scale: 1/2" = 1'



5 Sign Rendering
Scale: NTS



Sign Area = 15.75 SF PER TENANT

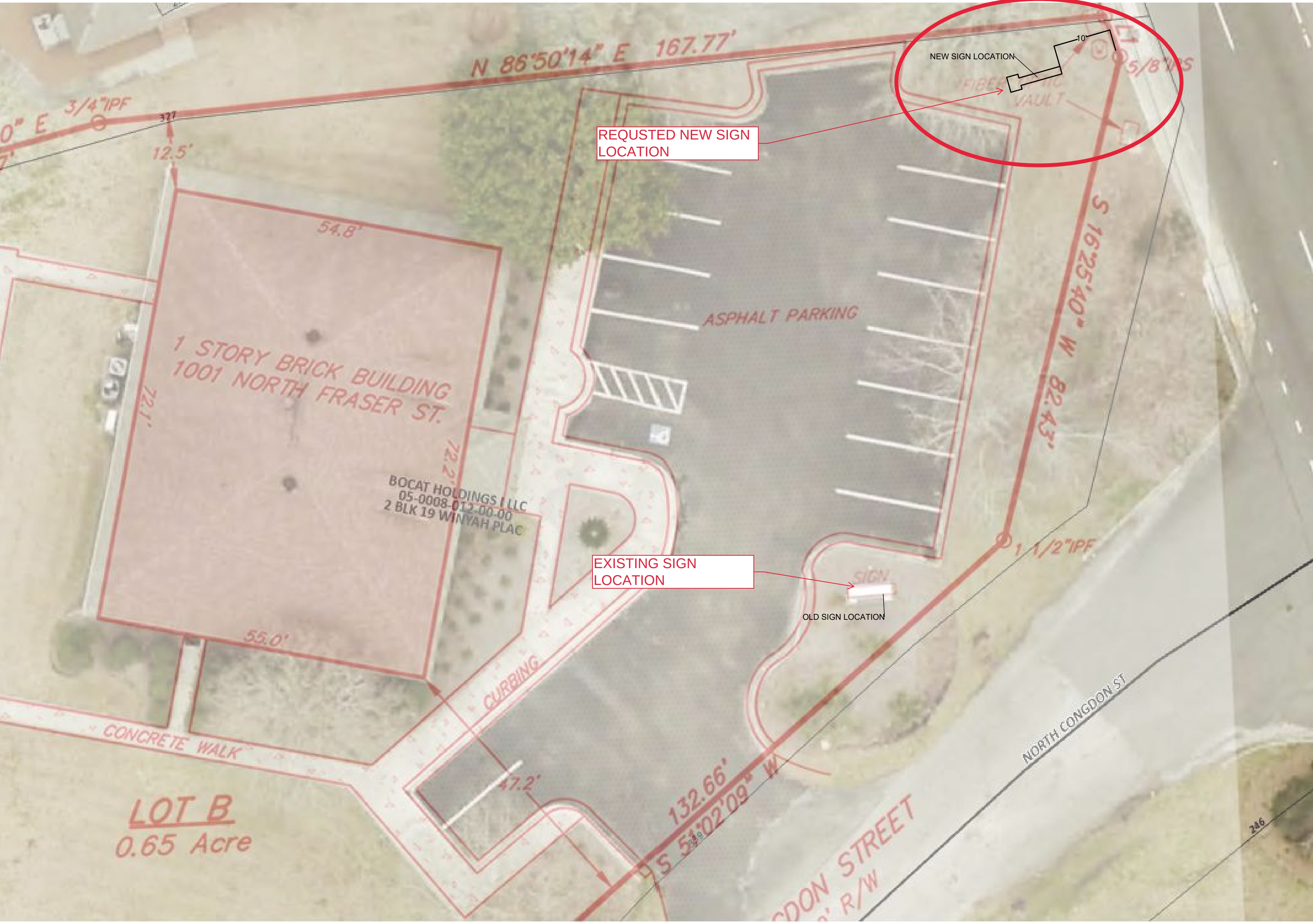
6 Sign Area
Scale: NTS

Posts and
Beam to match
trim at building

Brick Base to match
brick at building



7 Finishes
Scale: NTS



GENERAL STRUCTURAL NOTES

- REFER TO LOAD TABLE FOR INFORMATION REGARDING THE APPLICABLE MODEL BUILDING CODE GOVERNING THE DESIGN AND CONSTRUCTION OF THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING UNDERGROUND UTILITIES PRIOR TO EXCAVATING FOR THE CONSTRUCTION OF FOUNDATIONS OR ANY OTHER STRUCTURAL ELEMENT DEPICTED IN THIS DOCUMENT. ANY CONFLICTS WITH UNDERGROUND UTILITIES SHALL BE REPORTED TO THE ARCHITECT AND RESOLVED PRIOR TO RESUMING CONSTRUCTION.
- THE PROPER DESIGN, SPECIFICATION, AND ATTACHMENT OF ALL NON-STRUCTURAL COMPONENTS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THIS INCLUDES HANDRAILS, SKYLIGHTS, CUPOLAS, AWNINGS, SIDING, SHUTTERS, ROOFING MATERIALS, FLASHING, WATERPROOFING, FLAGPOLES, SIGNAGE, STOREFRONT, CURTAIN WALLS, ETC.
- THE GENERAL CONTRACTOR MUST CONFIRM THAT EXISTING CONDITIONS ARE COMPATIBLE WITH ASSUMPTIONS STATED IN THE PRODUCTION OF THIS DESIGN DOCUMENT. STRUCTURAL ENGINEER OR LEAD DESIGNER MUST BE CONTACTED IMMEDIATELY IN THE EVENT OF ANY DISCREPANCY.
- THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN, INSTALLATION AND ERECTION OF TEMPORARY SHORING OR BRACING DURING THE CONSTRUCTION PROCESS.
- THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL SAFETY REGULATIONS.
- THE STRUCTURAL ENGINEER OF RECORD IS NOT RESPONSIBLE FOR INSPECTION OR QUALITY CONTROL OF CONSTRUCTION UNLESS CONTRACTUAL ARRANGEMENTS HAVE BEEN MADE TO PROVIDE THESE SERVICES.
- ANY QUESTIONS OR COMMENTS RELATING TO THIS DOCUMENT MUST BE FORWARDED TO THE LEAD DESIGNER OR ARCHITECT IN WRITING. IN THE EVENT THAT THE STRUCTURAL ENGINEER OF RECORD IS THE SOLE DESIGN PROFESSIONAL, QUESTIONS MAY BE FORWARDED TO:

MLRD Group, LLC
J. PARKS PAYNE, JR., P.E.
125 EDGEcombe RD
SPARTANBURG, SC 29307
EMAIL: parks@mlrdgroup.com

GEOTECHNICAL AND FOUNDATION NOTES

- THE FOUNDATION FOR THIS STRUCTURE HAS BEEN DESIGNED IN THE ABSENCE OF A GEOTECHNICAL REPORT. THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR VERIFYING EXISTING SOIL CONDITIONS. THE CURRENT FOUNDATION DESIGN IS SUBJECT TO CHANGE BASED ON THE GEOTECHNICAL ENGINEER'S FINDINGS. A GEOTECHNICAL ENGINEER WOULD BE REQUIRED TO DETERMINE THE ALLOWABLE BEARING PRESURE OF THE SOIL AND THE POTENTIAL DIFFERENTIAL SETTLEMENT.
- THE FOUNDATION FOR THIS STRUCTURE HAS BEEN DESIGNED BASED ON AN ASSUMED SOIL BEARING CAPACITY OF 1800 P.S.F. THE LOCAL BUILDING OFFICIAL MAY REQUIRE THAT A GEOTECHNICAL ENGINEER TEST THE SOIL TO VERIFY THIS BEARING CAPACITY.
- THE LOT SHALL BE GRADED TO DRAIN WATER AWAY FROM THE PERIMETER OF THE FOUNDATION.
- THE TOP SURFACE OF ALL FOOTINGS SHALL BE LEVEL, SLOPING A MAXIMUM OF ONE UNIT VERTICAL IN TEN UNITS HORIZONTAL. FOOTINGS SHALL BE STEPPED IF THIS SLOPE MUST BE EXCEEDED.
- THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL EXTEND A MINIMUM OF 12" BELOW UNDISTURBED GROUND.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE NECESSARY PROTECTION AND STABILIZATION OF OPEN EXCAVATIONS AND FILL SO AS NOT TO ENDANGER LIFE OR PROPERTY.
- TOP SOIL, FOREIGN MATERIAL, ORGANIC DEBRIS, STUMPS AND ROOTS SHALL BE REMOVED FROM THE SOIL IN THE AREA TO BE OCCUPIED BY THE BUILDING.
- FILL SHALL BE PLACED IN UNIFORM LIFTS OF 10" OR LESS, AND COMPACTED TO MEET A 95% MODIFIED PROCTOR VALUE, UNLESS NOTED OTHERWISE. THIS NOTE MAY BE OMITTED PROVIDED THE EXISTING SOIL IS COMPACTED TO THE SATISFACTION OF THE BUILDING OFFICIAL.

STRUCTURAL CONCRETE

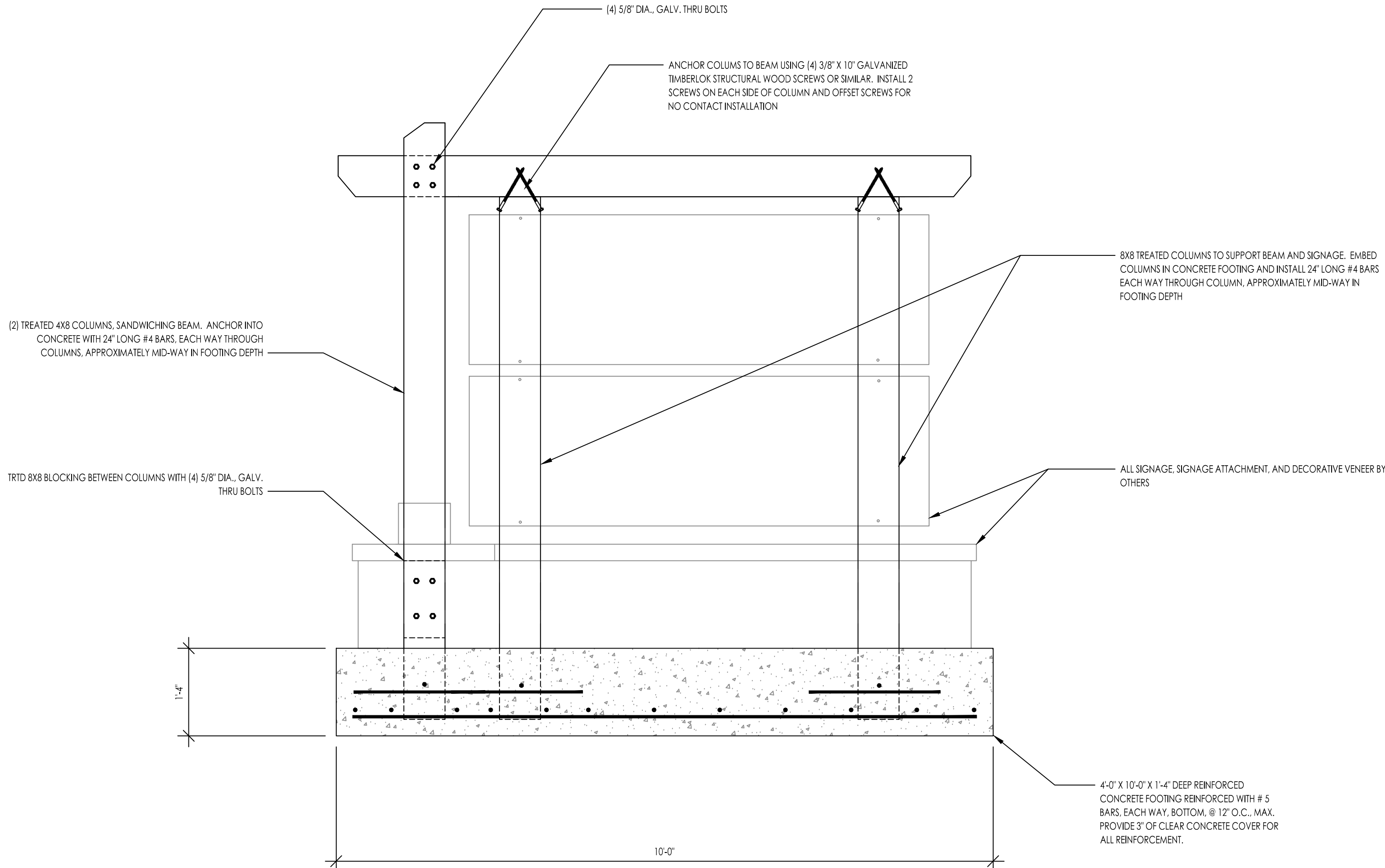
- MATERIALS USED TO PRODUCE CONCRETE AND TESTING THEREOF SHALL COMPLY WITH THE APPLICABLE STANDARDS LISTED IN ACI 318. ALL REFERENCE MADE TO ACI 318 IN THIS SECTION REFERS TO THE EDITION REFERENCED IN THE GOVERNING BUILDING CODE. GOVERNING BUILDING CODE IS INDICATED IN THE LOAD TABLE.
- CONCRETE SHALL BE PROPORTIONED PER THE REQUIREMENTS OF ACI 318, CHAPTER 5. THE MIX SHALL BE DESIGNED BY THE SUPPLIER TO MEET THE 28-DAY COMPRESSIVE STRENGTH ($f_{c'}$) SPECIFIED IN THIS DOCUMENT. THE MIX DESIGN (INCLUDING SLUMP, AIR ENTRAINMENT AND ADMIXTURES) SHALL TAKE INTO CONSIDERATION THE LOCATION OF THE CONCRETE (WALL, SLAB, ETC.), THE PLACEMENT METHOD AND THE OUTSIDE TEMPERATURE DURING PLACEMENT. THE CONTRACTOR SHALL SUBMIT THE PROPOSED MIX DESIGN TO THE ARCHITECT OF RECORD FOR APPROVAL.
- CONCRETE TESTING IS REQUIRED AS INDICATED BELOW:
 - SAMPLES SHALL BE TAKEN FROM EACH CONCRETE TYPE NOT LESS THAN ONCE A DAY, NOT LESS THAN 150 CUBIC YARDS AND NOT LESS THAN ONCE FOR EACH 5,000 S.F. OF SURFACE AREA FOR SLABS OR WALLS.
 - SAMPLES SHALL CONSIST OF A MINIMUM OF FOUR CYLINDERS TAKEN IN ACCORDANCE WITH ASTM C 172. WATER MAY NOT BE ADDED AFTER THE CYLINDERS ARE TAKEN.
 - A STRENGTH TEST SHALL BE THE AVERAGE OF THE STRENGTHS OF TWO CYLINDERS MADE FROM THE SAME SAMPLE OF CONCRETE AND TESTED AT 28 DAYS.
 - CYLINDERS FOR STRENGTH TESTS SHALL BE MOLDED AND CURED PER ASTM C 31, AND TESTED IN ACCORDANCE WITH ASTM C 39.
- CONCRETE SHALL NOT BE PLACED UNLESS THE TEMPERATURE IS 40 DEGREES FAHRENHEIT AND RISING WITHOUT APPROVAL OF THE STRUCTURAL ENGINEER.
- PORTLAND CEMENT, CONCRETE AGGREGATES, ADMIXTURES AND MIXING WATER SHALL MEET THE REQUIREMENTS OF THE VERSION OF ACI-318 REFERENCED IN THE APPLICABLE BUILDING CODE.
- CONCRETE REINFORCEMENT SHALL BE DEFORMED AND MEET THE REQUIREMENTS OF ACI 318. THE MINIMUM SPECIFIED YIELD STRENGTH OF DEFORMED REINFORCEMENT SHALL BE 60,000 P.S.I.
- NO MIX DESIGNS CONTAINING CALCIUM CHLORIDE SHALL BE USED.
- UNDER NO CIRCUMSTANCES SHALL WATER BE ADDED TO THE MIX UNLESS INSTRUCTIONS TO DO SO ARE PROVIDED BY THE CONCRETE BATCH PLANT, AND ACCOUNTED FOR IN THE ORIGINAL MIX DESIGN.
- REINFORCEMENT SHALL NOT BE WELDED UNLESS PRE-APPROVED BY THE STRUCTURAL ENGINEER OF RECORD. WELDED REINFORCEMENT SHALL BE OF TYPE ASTM A 706. WELDS SHALL CONFORM TO THE REQUIREMENTS IN ANSI/AWS D1.4.
- ALL DETAILING, FABRICATION, AND PLACEMENT OF REINFORCING STEEL SHALL CONFORM TO THE REQUIREMENTS OF THE ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI-SP-44). SHOP DRAWINGS DEPICTING REINFORCEMENT SHALL BE SUBMITTED TO THE ARCHITECT OF RECORD FOR REVIEW.
- REINFORCING STEEL MUST BE FREE OF LOOSE RUST, MILL SCALE, OR ANY OTHER FOREIGN MATERIAL.
- REINFORCEMENT MUST BE ACCURATELY POSITIONED AND HELD IN PLACE DURING CONCRETE PLACEMENT.
- FORMS SHALL BE CLEANED AND PREPPED FOR EASY REMOVAL. NO FORM RELEASE AGENTS SHALL BE USED THAT LEAVE RESIDUE ON THE CONCRETE THAT INHIBITS THE BONDING OF FINISH MATERIALS.
- CONCRETE CONSOLIDATION TECHNIQUES SHALL NOT CAUSE SEGREGATION OF THE MIX.
- CONCRETE LIFTS IN WALL PLACEMENTS SHALL BE OF A HEIGHT THAT ALLOWS PROPER COMPACTION. THE SUBSEQUENT LIFT SHALL BE PLACED BEFORE THE PRIOR LIFT HAS BEGUN TO HARDEN. IT SHOULD BE POSSIBLE FOR THE VIBRATOR TO COMPLETELY PENETRATE THE LIFT BEING PLACED.
- REPAIR ALL SURFACE DEFECTS INCLUDING TIE HOLES, MINOR HONEYCOMBING, AND OTHER VISUAL IRREGULARITIES WITH THE NECESSARY COMBINATION OF RUBBING, GRINDING AND THE APPLICATION OF CEMENT MORTAR. MORTAR FOR PATCHING SHALL BE THE SAME COMPOSITION AS THAT USED IN THE CONCRETE. SURFACE REPAIR AND PATCHING SHALL BE PERFORMED AS SOON AS POSSIBLE AFTER FORM REMOVAL.
- REINFORCED STRUCTURAL CONCRETE SHALL BE COATED WITH A PROTECTIVE FINISH WHEN REQUIRED BY AGGRESSIVE EXPOSURE CONDITIONS TO PREVENT INFILTRATION OF CORROSIVE AGENTS SUCH AS CARBON DIOXIDE, WATER, CHLORIDES, ETC. UNLESS SPECIFICALLY NOTED IN THE DESIGN DOCUMENTS, IT SHALL NOT BE THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER TO SPECIFY THIS PROTECTIVE FINISH. THIS PROTECTIVE COATING IS REQUIRED IN ADDITION TO THE WATER CEMENT RATIO AND CONCRETE COVERAGE SPECIFIED BY CODE.
- REQUIREMENTS FOR CONCRETE QUALITY, MIXING AND PLACING SHALL CONFORM TO THE REQUIREMENTS OF ACI 318, CHAPTER 5.
- CONCRETE ELEMENTS SHALL MEET THE FOLLOWING 28-DAY MINIMUM STRENGTH REQUIREMENTS:

FOOTINGS: 3000 P.S.I.

NEW SIGN
ENGINEERING

SCBC 2021 - LOAD TABLE

1. DEAD LOADS	USE ACTUAL WEIGHT
2. LIVE LOADS (ASCE 7-16)	OF MATERIALS
A. ROOF	20 P.S.F.
B. FLOOR	40 P.S.F.
3. SNOW LOADS (ASCE 7-16)	
A. GRID SNOW LOAD (P_g)	12 P.S.F.
B. SNOW EXPOSURE FACTOR (C_e)	0.9
C. SNOW LOAD IMPORTANCE FACTOR (I)	1.0
D. THERMAL FACTOR (C_t)	1.2
E. FLAT ROOF SNOW LOAD (P_f)	10 P.S.F.
F. SLOPED ROOF SNOW LOAD (P_s)	10 P.S.F.
4. WIND LOADS (ASCE 7-16)	
A. BASIC WIND SPEED	150 M.P.H.
B. EXPOSURE CATEGORY	B
C. RISK CATEGORY	II
D. WIND ENCLOSURE	ENCLOSED
E. ADJUSTMENT FACTOR FOR HEIGHT AND EXPOSURE	1.0
F. G CFI	+/- 0.18
5. SEISMIC LOADS (ASCE 7-16)	
A. SEISMIC RISK CATEGORY	II
B. SITE CLASS (ASSUMED PER 2018 SCBC)	D
C. SEISMIC IMPORTANCE FACTOR	1.0
D. SEISMIC DESIGN CATEGORY	D
E. SEISMIC R	6.5
F. ANALYSIS PROCEDURE	EQ. LAT. FORCE
6. GEOTECHNICAL INFORMATION	
A. DESIGN LOAD BEARING CAPACITY (ASSUMED)	1,800 P.S.F.



NEW MONUMENT SIGN - SCOTT TALLEY
1001 NORTH FRASER STREET
GEORGETOWN, SOUTH CAROLINA
GEORGETOWN COUNTY

JOB NUMBER:
26-023D

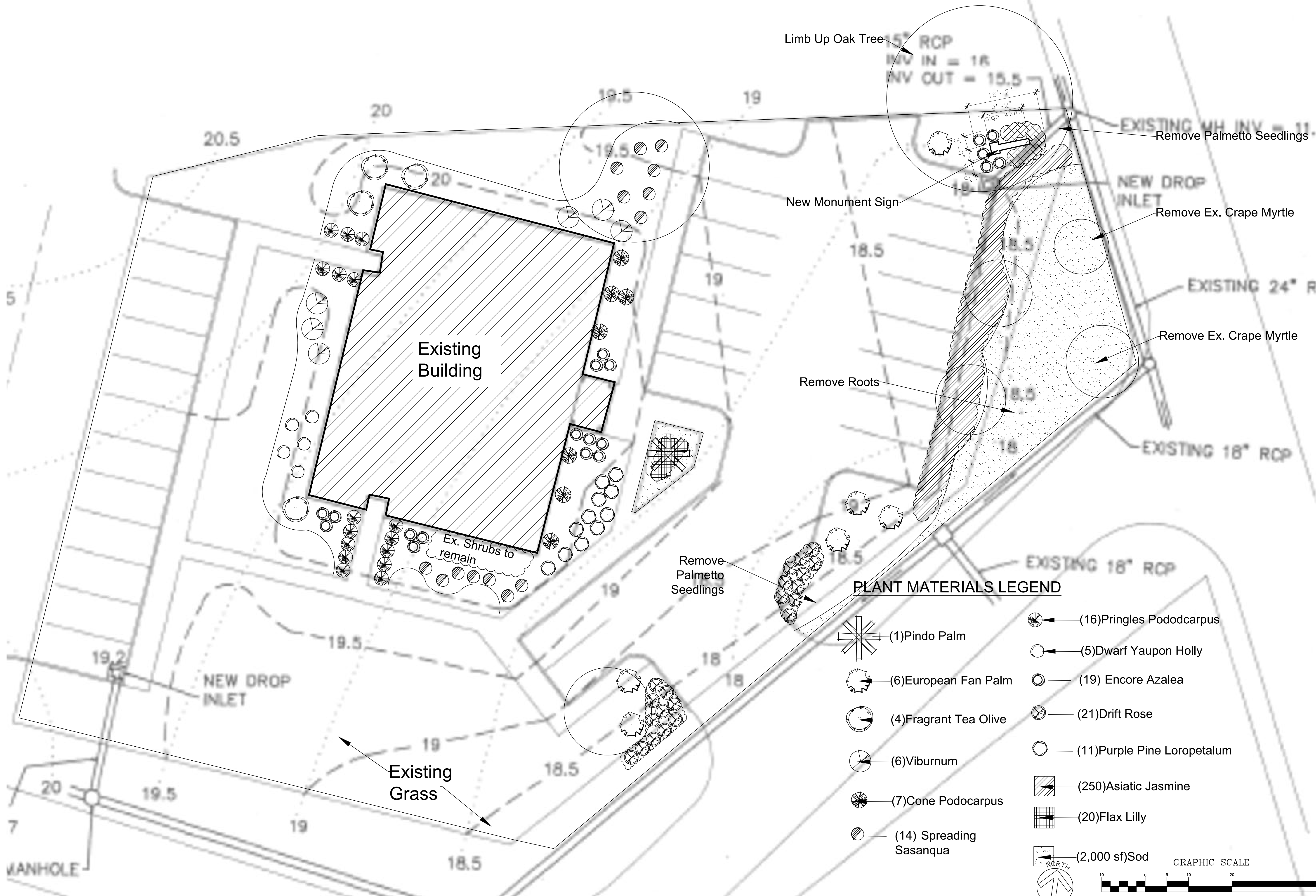
DATE:
05/13/2026

DESIGNED BY: PP
DRAWN BY: PP
CHECKED BY: PP

REVISIONS:

SHEET No.:
S1.0
1 of 1





**WACCAMAW
LANDSCAPING**
AND CONSTRUCTION
PAWLEYS ISLAND, S.C.

P.O. Box 213
1066 Petigru Dr.
Pawleys Island, SC 29585
843-237-2224
843-237-1116 fax

NOTE: THIS PLAN IS THE PROPERTY OF WACCAMAW LANDSCAPING
AND CONSTRUCTION CO. INC., PAWLEYS ISLAND, SOUTH CAROLINA.

TALLEY LAW FIRM
1001 N. FRASER STREET
GEORGETOWN, SC

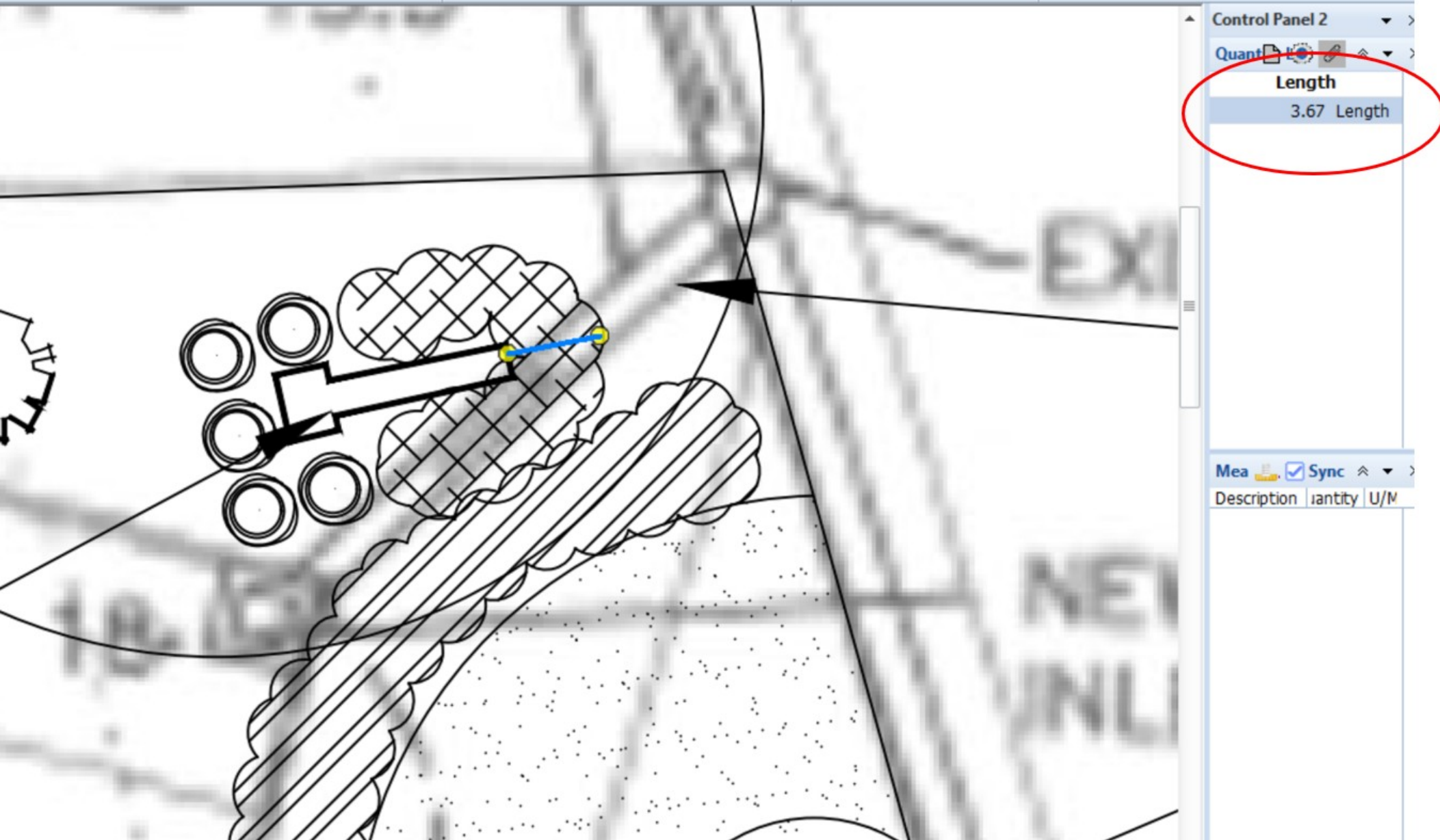
SHEET TITLE:
LANDSCAPE PLAN

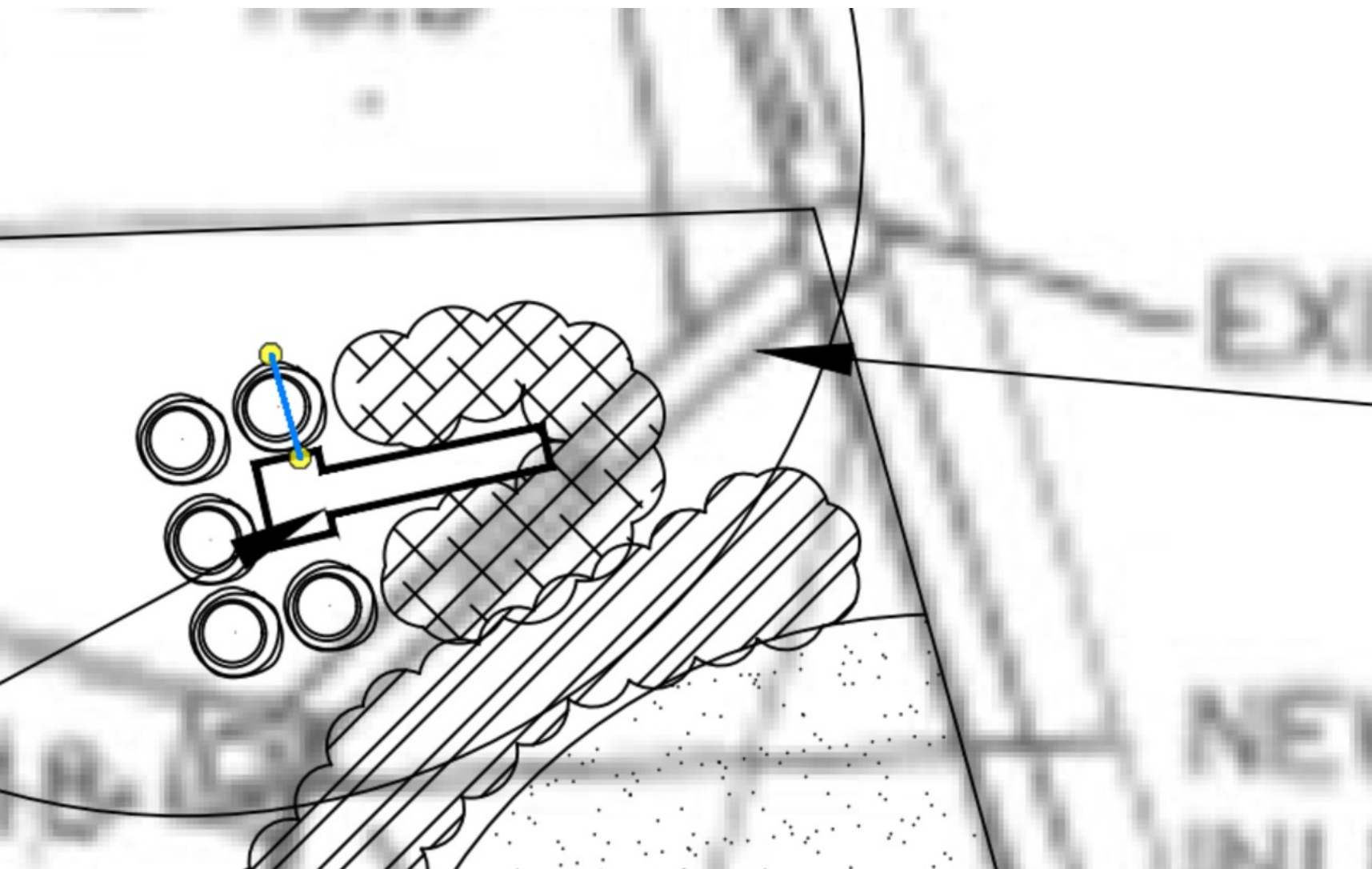
DRAWN BY:
JR,PW

DATE:
06/01/26

REVISIONS:

SHEET NUMBER
1
OF 1





Control Panel 2

Quant    

Length

3.36	Length
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Mea  ☒ Sync   

Description	Quantity	U/M
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MAYOR
JAY DOYLE

CITY ADMINISTRATOR
SCOTT WHITTIER

CITY CLERK
STEPHANIE BUCCIONE



Planning and Community Development
(843) 545-4010

COUNCIL MEMBERS
MAYOR PRO TEMPORE
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TAMIKA WILLIAMS-OBENG
SHARON MELTON
HOBSON HENRY MILTON

CITY OF GEORGETOWN COMMUNITY APPEARANCE BOARD

MEETING DATE: July 21, 2026

AGENDA ITEM: CAB-2026-0008 - Request: Signs. 418 Wood Street. TMS# 05-0027-047-01-00.
Request to install one non-illuminated wall sign.

CURRENT STATUS:

Applicant:	Tyson Sign Company
Property Owner:	Jam Family Partnership, LLC
Zoning District:	General Commercial (GC) <i>(Reference item 1)</i>
Overlay District:	Urban Corridor Design Overlay District (UCOD) and Historic District Design Overlay <i>(Reference item 1)</i>
2040 Comprehensive Plan – FLUM:	Corridor Commercial <i>(Reference item 2)</i>
Flood Zone:	Zone X. (None)
Intended Use of the Property:	Professional Office
Contribution to Historic District:	No <i>(see attached)</i>

APPLICABLE COMMERCIAL CORRIDOR DESIGN OVERLAY DISTRICT GUIDELINES:

2152 Community Appearance Board Review (CAB)

The CAB shall have jurisdiction over the exterior improvements or changes to multi-family and non residential developments within the jurisdictional boundaries of the UCOD. For parcels that are located in the Historic District and in the UCOD, the following shall be determinative as to jurisdiction:

2152.102 All other proposed projects for two-family, multi-family, mixed-use or non-residential uses shall be presented to the CAB. When a project proposes to convert a single-family use to another use, the ARB shall have jurisdiction over a demolition request, and the CAB shall have jurisdiction over the proposed new construction.

2164 Sign Design Standards

Signage shall meet all applicable requirements of Article XVII: Sign Regulations are subject to CAB approval, and must meet all applicable Building Codes in addition to the following requirements:

2164.1 The location and dimension of wall signs shall be indicated upon the architectural elevations of the proposed structures. Wall signs shall fit within the confines of the architectural details of the building and not obscure or detract from those features.

2164.2 Signs (monument and wall signs) shall complement the architectural style of the building and shall be designed as an architectural element of the building.

2164.3 The materials, colors, and lighting of signs shall be compatible with the materials used in the construction of the building. Lighting must point downward. Landscaping of monument signs is required and subject to CAB approval.

APPLICABLE ZONING CODES:

1714 General Commercial (GC), Neighborhood Commercial (NC), Light Industry (LI), and Heavy Industrial (HI) Districts

1714.2 Parallel Signs: In the case of parallel signs, each business shall be permitted one (1) of the following types of signs provided all applicable requirements are met.

1714.202 Wall Signs: Each principal building shall be permitted one (1) wall sign provided that:

(1) Sign Area: The gross surface area shall not exceed a square footage equal to the building width (i.e. If a principal building is 30 feet in width, then a 30 square foot sign shall be permitted). The maximum gross surface area permitted shall be one hundred (100) square feet.

(2) Number: One (1) wall sign shall be permitted per principal building except where a building has been sub-divided into individual stores with separate entrances (i.e. strip mall). In this instance, each business shall be permitted one (1) wall sign. The gross surface area for each sign shall be calculated based on the width of each store front.

OPTIONS:

1. Approve request, as submitted by applicant.
2. Approve application with conditions imposed by the Community Appearance Board.
3. Deny request.
4. Defer request for more information. *(A time frame for deferral must be agreed upon between the board and the applicant)*

REFERENCE MATERIALS

REFERENCE ITEM 1: City of Georgetown Zoning Map



REFERENCE ITEM 2: Future land use designation.



Statewide Survey of Historic Properties
State Historic Preservation Office
South Carolina Department of Archives and History
8301 Parklane Rd.
Columbia, SC 29223-4905 (803) 896-6100

Control Number: U / 43 / 191-0851

Status County No Site No

Quad Name: Georgetown South

Tax Map No.: 05-0027-047-01-00

Intensive Documentation Form

Identification

Historic Name:

Common Name:

Address/Location: 418 Wood Street

City: Georgetown

County: Georgetown

Vicinity of:

Ownership: Private

Category: building

Historical Use: Commerce/Trade

Current Use: Commerce/Trade

National Register of Historic Places Information

SHPO National Register Determination: Not Eligible

Notes on National Register Status: This resource dates from after 1960 and is a non-contributing resource in the Georgetown Historic District.

Other Designation:

Property Description

Construction Date: c. 1965

Commercial Form:

Stories: 1 story

Alteration Date:

Historic Core Shape: rectangular

Roof Features

Shape: flat

Materials: not visible

Porch Features

Porch Width:

Shape:

Construction Method: masonry

Exterior Walls: brick veneer

Foundation: not visible

Significant Architectural Features: Masonry Vernacular: concrete block on side elevations, double store with single-leaf door with flat hood and paired 6/6 sash.

Alterations:

Architect(s)/Builder(s):

Historical Information

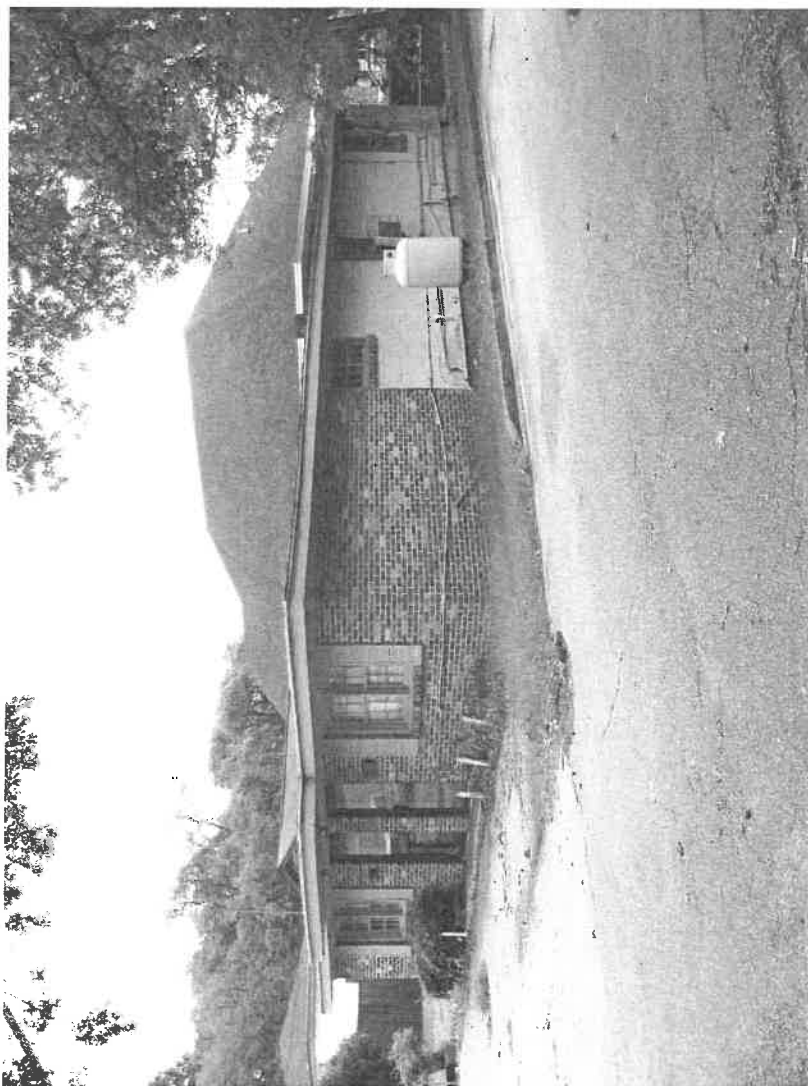
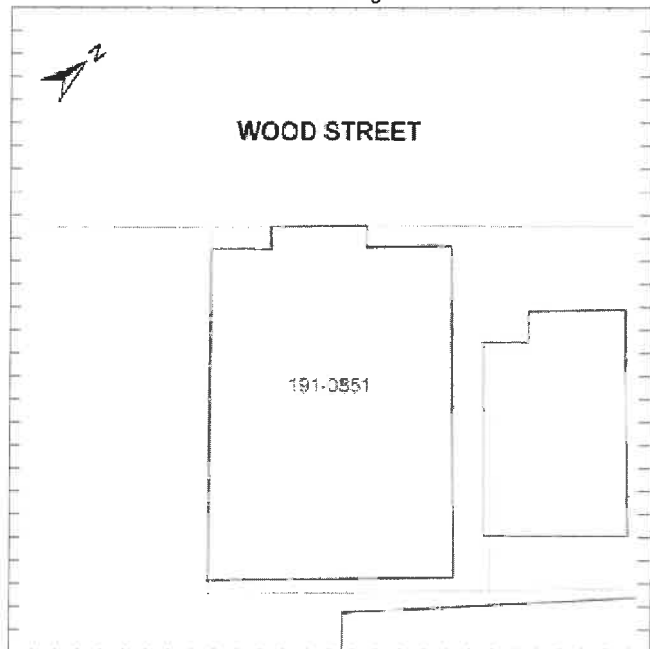
Historical Information:

Source of Information:

Photographs

Roll No.	Neg. No.	View of
		Rear and Side Elevations, Looking N
		Rear and Side Elevations, Looking E
		Façade and Side Elevations, Looking S

Use Grid for Sketching



Program Management

Recorded by: Ellen Jenkins (TRC)

Date Recorded: 6/28/2010

191-0851: 418 Wood Street





CAB# 2026-008

DATE RECEIVED: _____

Design Overlay District Application

This application is not a permit.

Prior to application fee - Building, Permit, or Sign Permit.

As per ARTICLE XIII: DESIGN OVERLAY DISTRICTS – Projects located in the UCOD require CAB review and approval. Variance requests in the MCOD require CAB review and approval.

TMS# 05-0027-047-01-00

Zoning District R4

PROJECT ADDRESS: 418 Wood Street Georgetown, SC 29440

OVERLAY DISTRICT: MCOD UCOD

Applicant Information:

Name [REDACTED]

Address [REDACTED]

Phone [REDACTED]

Email [REDACTED]

Property Owner Information:

Name [REDACTED]

Address [REDACTED]

Phone [REDACTED]

Email [REDACTED]

Applicant's Request:

Install (1) Non-Illuminated Aluminum Wall Sign with Vinyl Graphics. 3'-6"H x 3'-6"W.

Submittal Requirements:

(Please check the box as applicable and as submitted for your application.)

☐

Site Plan Information must include:

Setbacks

Building location and dimensions

Location of services areas

Location of mechanical equipment

Sign Location

Parking

Lighting Plan

Landscaping Plan (Include tree removal plan if applicable)

Fencing

☐

Building Information

Elevations

Building Materials _____

Paint (provide sample)

_____ Brick

_____ Hard plank

_____ Siding

_____ Wood

_____ Wood shingles or shakes

Roofing Materials

_____ Shingles (slate, concrete composition, wood/shakes)

_____Copper/tin

_____Painted Galvanized Standing Seam or V-crimp Metal

Shutter Design _____

_____Louvered,

_____Paneled

_____Board and batten

Windows _____

Exterior Lighting Fixtures (include image)

Screening material mechanical screening _____

☐

Sign Information

Sign type _____

Sign Image (attach image)

Building materials _____

Request for a variance from ARTICLE X- SIGNS: Yes **No**

☐

Fencing

_____Wood

_____Lattice

_____Iron

_____Black Vinyl

Overall Height Requested: _____

☐

Color

Building _____

Trim _____

Doors _____

Exterior Details _____

Please Note: Color Palette. Color combinations of paints and stains shall be complementary. No more than three different colors per building shall be permitted. Primary colors, fluorescent, psychedelic, and phosphorescent are not permitted in the Overlay Districts. Colors such as black, dark blue, grays, and other dark colors can be used for doors, trim, and exterior details, such as shutters. Etc.



Landscape Requirements

Description of proposed Landscaping

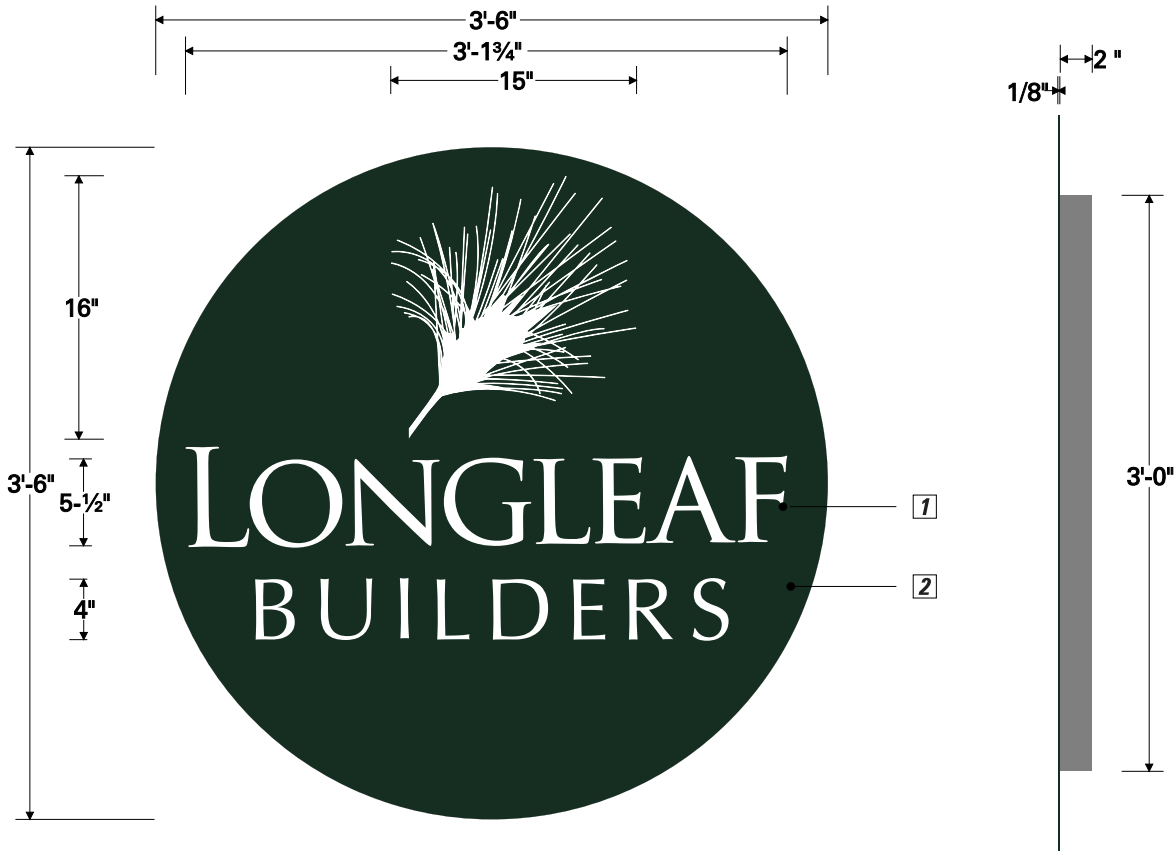
Request for a variance from ARTICLE XIII- DESIGN OVERLAY DISTRICTS

Landscape Requirements? Yes No

I have received a copy of the ARTICLE XIII Design Overlay Districts of the Zoning Ordinance

Nicholas Blackman, Esq. 6/1/2026
Applicant's Signature Date

Marshall Easterling 6/1/2026
Owner's Signature Date



END VIEW



PHOTO EDIT
For Reference Only NTS

Qty. (1) Aluminum Wall Sign with Vinyl Graphics

NOTES

- .125' aluminum face painted and mounted onto 2" recessed tube frame
- First surface applied vinyl graphics (as shown)

INSTALLATION:

- Mount frame flush to building face as required

COLORS

COLORS SHOWN ARE REPRESENTATIVE ONLY

- 1 White (3M vinyl #7725-10)
- 2 Dark Green PMS #5605 (paint to match)

DATE	
13-May-26	
CUSTOMER	
Longleaf Builders, LLC	
PROJECT	
Longleaf Builders, LLC	
LOCATION	
220 Wood Street	
DESCRIPTION	
Aluminum Wall Sign	
SALES	
D. Jenkins	
DESIGNER	
J. Kiddy	
SCALE	
1" = 1' - 0"	
DRAWING	
64148-a1	

REVISIONS			
REV	DATE	BY	NOTE

CUSTOMER APPROVAL

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TYSON SIGN COMPANY

Putting Your Business Out Front!

CONTACT INFO
1-843-448-5168
Fax: 843-448-0535
Mail: P.O. Box 50580
Myrtle Beach, SC 29579
www.tysonsign.com



UL LISTED

ELECTRIC SIGN
MUST BE INSTALLED
IN ACCORDANCE WITH
ARTICLE 600 OF THE NEC
(NATIONAL ELECTRIC CODE)

MAYOR
JAY DOYLE

CITY ADMINISTRATOR
SCOTT WHITTIER

CITY CLERK
STEPHANIE BUCCIONE



Planning and Community Development
(843) 545-4010

COUNCIL MEMBERS
MAYOR PRO TEMPORE
JESSIE WALKER

BRUCE CARL
ERIN ETHRIDGE
TAMIKA WILLIAMS-OBENG
SHARON MELTON
HOBSON HENRY MILTON

CITY OF GEORGETOWN COMMUNITY APPEARANCE BOARD

MEETING DATE: July 21, 2026

AGENDA ITEM: CAB-2026-0009 - Request: Signs. 401 Church Street. TMS# 05-0030-040-00-00.
Request to replace existing signs for Speedway with new signs for BP.

The signs being requested are:

1. Replacement of existing monument sign with a new LED sign. Sign will remain the same size at 32 square feet, and will remain in the same location.
2. Installation of LED light bars on six (6) sides. Existing canopy signage for Speedway will be replaced with three (3) logo signs for BP. The logo sign is approximately 10.5 square feet in size.
3. Replacement of the existing wall sign on the store front building with a new wall sign approximately 47 square feet in size.

CURRENT STATUS:

Applicant:	Erin Vickrey, Scout Services
Property Owner:	Nancy Downing c/o Wilco Hess, LLC
Zoning District:	General Commercial (GC) <i>(Reference item 1)</i>
Overlay District:	Urban Corridor Design Overlay District (UCOD) and Historic District Design Overlay <i>(Reference item 1)</i>
2040 Comprehensive Plan – FLUM:	Corridor Commercial <i>(Reference item 2)</i>
Flood Zone:	Zone X500. <i>(Reference item 3)</i>
Intended Use of the Property:	Gas Service Station
Contribution to Historic District:	No <i>(see attached)</i>

APPLICABLE COMMERCIAL CORRIDOR DESIGN OVERLAY DISTRICT GUIDELINES:

2152 Community Appearance Board Review (CAB)

The CAB shall have jurisdiction over the exterior improvements or changes to multi-family and non residential developments within the jurisdictional boundaries of the UCOD. For parcels that are located in the Historic District and in the UCOD, the following shall be determinative as to jurisdiction:

2152.102 All other proposed projects for two-family, multi-family, mixed-use or non-residential uses shall be presented to the CAB. When a project proposes to convert a single-family use to another use, the ARB shall have jurisdiction over a demolition request, and the CAB shall have jurisdiction over the proposed new construction.

2164 Sign Design Standards

Signage shall meet all applicable requirements of Article XVII: Sign Regulations are subject to CAB approval, and must meet all applicable Building Codes in addition to the following requirements:

2164.1 The location and dimension of wall signs shall be indicated upon the architectural elevations of the proposed structures. Wall signs shall fit within the confines of the architectural details of the building and not obscure or detract from those features.

2164.2 Signs (monument and wall signs) shall complement the architectural style of the building and shall be designed as an architectural element of the building.

2164.3 The materials, colors, and lighting of signs shall be compatible with the materials used in the construction of the building. Lighting must point downward. Landscaping of monument signs is required and subject to CAB approval.

APPLICABLE ZONING CODES:

1714 General Commercial (GC), Neighborhood Commercial (NC), Light Industry (LI), and Heavy Industrial (HI) Districts

Each business shall be permitted one (1) sign that is perpendicular to the principal frontage and one (1) sign that is parallel to the principal frontage unless otherwise stated herein. All signs proposed for location within the boundaries of the Historical district shall conform in size, number and location to the regulations of the underlying zoning district, and to the requirements contained in Article XX: Historic Buildings District. All signage proposed in the Design Overlay district for the Main Corridors must also meet the requirement set forth in Article XXI: Commercial Corridor Design Overlay Districts as they pertain to signage as well as the underlying zoning requirements.

1714.1 Perpendicular Signs:

Each parcel shall be permitted one (1) of the following types of signs provided all applicable requirements are met.

1714.101 Monument Freestanding Sign:

Each parcel shall be permitted one (1) freestanding sign provided that:

(1) Number: One (1) monument freestanding sign shall be permitted per lot except where a lot has parallel road frontages; then one (1) monument freestanding sign for each frontage shall be permitted provided the signs are located at a minimum of one hundred (100) linear feet from each other. A lot with two or more businesses located on it shall be permitted one (1) monument sign for the entire premises and shall be subject to all requirements stated herein.

(2) Sign Area: The gross surface area per sign face shall not exceed a square footage greater than forty percent (40%) [Thirty percent 30% in Neighborhood Commercial] of the principal street frontage of the premise upon which the sign is to be located; and the aggregate gross surface area shall not exceed a total square footage greater than twice the permitted square footage of one (1) sign face. The maximum gross surface area permitted for a monument sign shall be one hundred fifty (150) square feet [sixty (60) square feet in Neighborhood Commercial] per sign face and an aggregate gross surface area of three hundred (300) square feet [one hundred twenty (120) square feet in Neighborhood Commercial]. If the principal street frontage is less than thirty (30) feet no monument sign shall be permitted.

(3) Location: The nearest point of a monument sign shall be located at a minimum of ten (10) feet from any right-of-way line or adjacent property

boundary. No monument sign shall extend over any structure or adjoining property line. No monument sign shall be located within thirty (30) linear feet of another monument sign.

(4) Width and Height: The width of the supporting sign base may not be less than the width of the sign face. Monument Freestanding signs shall not exceed eight (8) feet in height.

1714.102 Wall Signs: Each principal building shall be permitted two (2) wall signs perpendicular to the principal frontage provided that:

(1) Sign Area: The gross surface area per sign face shall not exceed a square footage greater than forty percent (40%) of the building width. The maximum gross surface area permitted per sign face shall be sixty (60) square feet.

(2) Number: Two (2) wall signs shall be permitted per principal building but shall not coexist on the same facade.

(3) Location: Each one of the two permitted wall signs shall be located on side facades opposite one another. No such sign shall project beyond the wall surface of a building.

1714.2 Parallel Signs:

In the case of parallel signs, each business shall be permitted one (1) of the following types of signs provided all applicable requirements are met.

1714.202 Wall Signs: Each principal building shall be permitted one (1) wall sign provided that:

(1) Sign Area: The gross surface area shall not exceed a square footage equal to the building width (i.e. If a principal building is 30 feet in width, then a 30 square foot sign shall be permitted). The maximum gross surface area permitted shall be one hundred (100) square feet.

(2) Number: One (1) wall sign shall be permitted per principal building except where a building has been sub-divided into individual stores with separate entrances (i.e. strip mall). In this instance, each business shall be permitted one (1) wall sign. The gross surface area for each sign shall be calculated based on the width of each store front.

OPTIONS:

1. Approve request, as submitted by applicant.
2. Approve application with conditions imposed by the Community Appearance Board.
3. Deny request.
4. Defer request for more information. *(A time frame for deferral must be agreed upon between the board and the applicant)*

REFERENCE MATERIALS

REFERENCE ITEM 1: City of Georgetown Zoning Map



REFERENCE ITEM 2: Future land use designation.



REFERENCE ITEM 3: FEMA Flood Map.

Please note, Forerunner parcel lines and addresses may not be up to date.

Flood zone	X500
Supplemental Coastal A	No
In Floodway	No
In CBRS	No
In OPA	No
Base Flood Elevation	Add
Design Flood Elevation	Add
Datum	NAVD88
FIRM Panel Effective Date	5/9/2023



Statewide Survey of Historic Properties
State Historic Preservation Office
South Carolina Department of Archives and History
8301 Parklane Rd.
Columbia, SC 29223-4905 (803) 896-6100

Control Number: U / 43 / 191-0779
Status County No Site No
Quad Name: Georgetown South
Tax Map No.: 05-0030-040-00-00

Intensive Documentation Form

Identification

Historic Name:

Common Name:

Address/Location: 401 Church Street

City: Georgetown

County: Georgetown

Vicinity of:

Ownership: Private

Category: building

Historical Use: Commerce/Trade

Current Use: Commerce/Trade

National Register of Historic Places Information

SHPO National Register Determination: Not Eligible

Notes on National Register Status: This resource dates from after 1960 and is a non-contributing resource in the Georgetown Historic District.

Other Designation:

Property Description

Construction Date: 1980

Commercial Form: other

Stories: 1 story

Alteration Date:

Historic Core Shape: irregular

Roof Features

Shape: flat

Materials: not visible

Porch Features

Porch Width:

Shape:

Construction Method: masonry

Exterior Walls: other

Foundation: not visible

Significant Architectural Features: Corrugated metal on side elevations, large windows on full-height of façade, round columns.

Alterations:

Architect(s)/Builder(s):

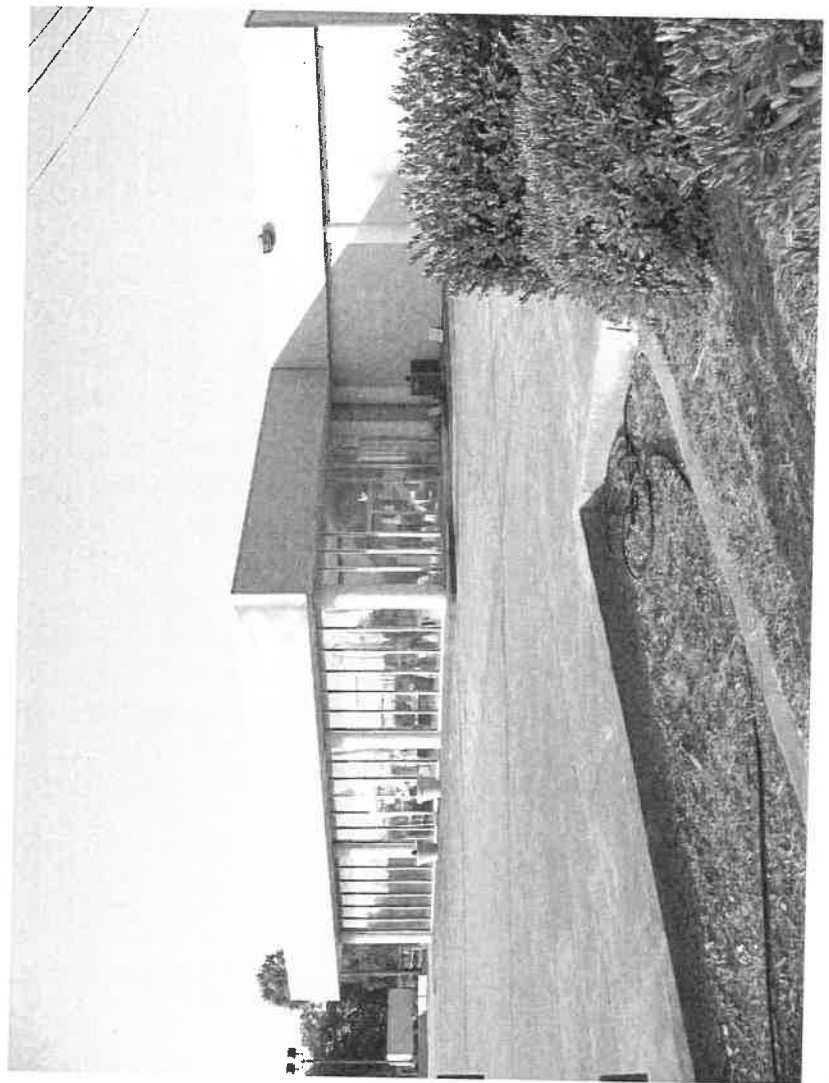
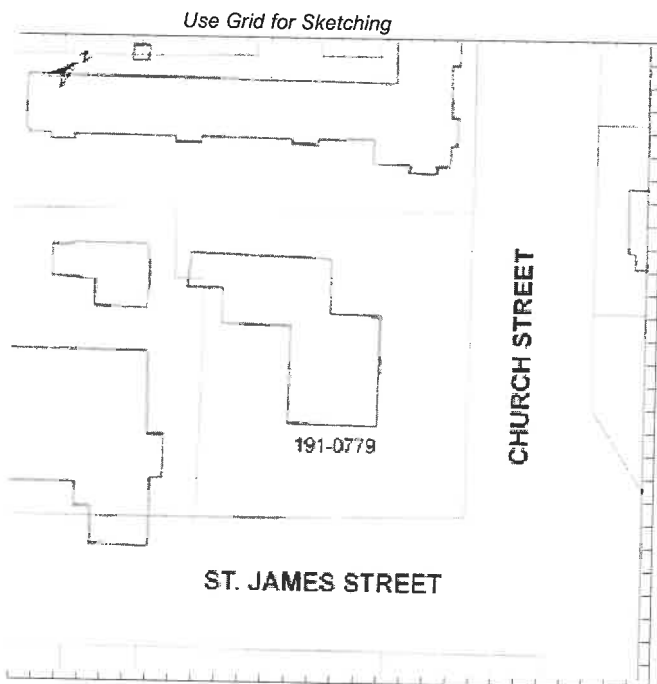
Historical Information

Historical Information:

Source of Information:

Photographs

Roll No. Neg. No. View of
Façade, Looking S



Program Management

Recorded by: Ellen Jenkins (TRC)

Date Recorded: 6/24/2010

Date Filed: _____

CAB Request Form

Appeal #: _____

Description of Request:

Updating commercial signage on-site to rebrand from Speedway to BP Gas station

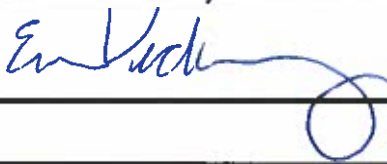
List of materials to be used:

Commercial signage - plans attached

In addition to this application, the following supporting materials have been submitted.

I certify that all the information included within this application is accurate and true:

Signature:



Date:

6/10/26

FOR OFFICE USE ONLY

Appeal Number:

Applicable fee:

Date Received:

Meeting Date:

Code Compliance

Building Code:

Flood Code:

Zoning Code:

Notes:

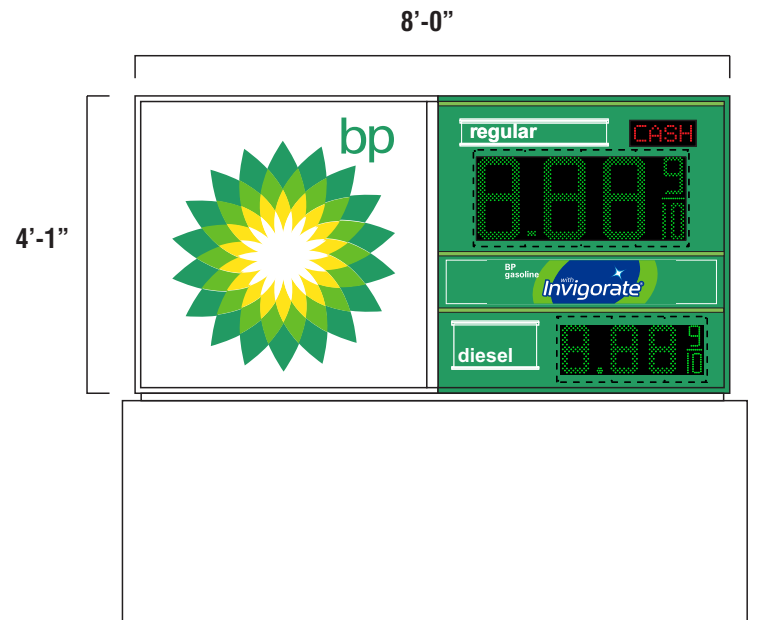
BP MID Sign

Reface existing sign with new BP sign - 2 product LED (Regular and Diesel) Including invigorate and toggle

Existing sign: 32 sq. ft, 7'- 0" OAH



Proposed sign: 32 sq. ft, 7'-0" OAH



totalimagesolutions.com

196 Theater Rd.
South Hill, VA 23970

P: (434) 447-3347
F: (434) 447-3266

Brand
BP
Address
401 Church St, Georgetown, SC 29440
Work Order
#7061594
Branded Wholesaler
SEI
Date
4-24-26
Revisions
#1
Designed By
Raheem R.

**FOR PERMITTING
PURPOSES ONLY**

BP Gas Canopy

Install BGB dimensional fascia and LED light bar on 6 sides and BP flat ACM to backside of the existing canopy.

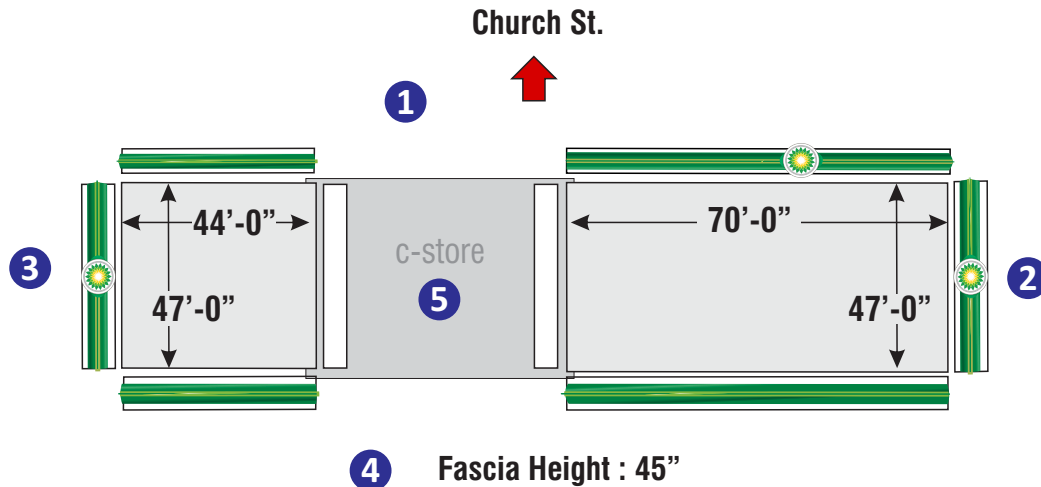
Existing Canopy:



Canopy Overview:

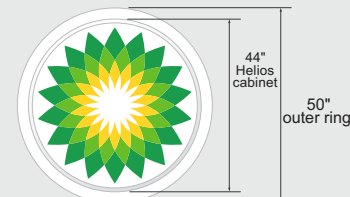


Proposed Canopy:



45" Dimensional Fascia w/ Light Bar on elevations 1, 2, 3, and 4
45" FLAT Fascia on elevation 5

Canopy Sign Measurements



44" Helios Sign - 10.5 sq.ft (3) Total



totalimagesolutions.com

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South Hill, VA 23970

P: (434) 447-3347
F: (434) 447-3266

Brand
BP
Address
401 Church St, Georgetown, SC 29440
Work Order
#7061594
Branded Wholesaler
SEI
Date
4-24-26
Revisions
#1
Designed By
Raheem R.

FOR PERMITTING
PURPOSES ONLY

BP Store Front Sign

Adapt new ToGo sign to the existing store front

Proposed SF Sign: 47 sq. ft.



Existing Store Front



196 Theater Rd.
South Hill, VA 23970

P: (434) 447-3347
F: (434) 447-3266

Brand
BP
Address
401 Church St, Georgetown, SC 29440
Work Order
#7061594
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SEI
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