



REGULAR MEETING OF ARCHITECTURAL REVIEW BOARD

JULY 6, 2026 - 5:30 PM

MUNICIPAL COURTROOM
2222 HIGHMARKET STREET
GEORGETOWN, SOUTH CAROLINA

Notice of this meeting has been made in accordance with the South Carolina Code of Laws as amended.

I. CALL TO ORDER

II. APPROVAL OF MINUTES

- A. Approval of Minutes from the May 4, 2026 Architectural Review Board Meeting

III. PUBLIC INPUT ON NON-AGENDA ITEMS

IV. OLD BUSINESS

V. NEW BUSINESS

- A. **ARB-2026-0015 – Request: Revision. 607 Duke Street. TMS# 05-0030-079-00-00.** Request to revise the previously approved porch renovations, to include elevating the porch roof to be same height as the main roof. The foundation, steps, roofing material, and roof pitch are to remain the same. Posts to be replaced in compliance with previously approved COA.

- 1. Staff Presentation

- 2. Applicant Presentation

- 3. Public Input (*Chairman to determine time limit in accordance with Article III Section 5 of the Architectural Review Board bylaws*)

- 4. Applicant Reply

- 5. Motion and Board Discussion

- B. **ARB-2026-0017 – Request: Demolition of an accessory structure, and construction of a new accessory structure with an ADU. 411 Highmarket St. TMS# 05-0030-200-00-00.** Request to demolish the existing shed, and construct a two-story detached garage with an accessory dwelling unit, to include improved parking and driveway areas.

- 1. Staff Presentation

- 2. Applicant Presentation

- 3. Public Input (*Chairman to determine time limit in accordance with Article III Section 5 of the Architectural Review Board bylaws*)

- 4. Applicant Reply

- 5. Motion and Board Discussion

- C. **ARB-2026-0018 – Request: Mechanical System. 914 Prince St. TMS# 05-0027-267-00-00.** Request to install a generator on a concrete pad at the rear of the house.

1. Staff Presentation
2. Applicant Presentation
3. Public Input *(Chairman to determine time limit in accordance with Article III Section 5 of the Architectural Review Board bylaws)*
4. Applicant Reply
5. Motion and Board Discussion

- D. ARB-2026-0019 – Request: Construction of a new building addition and alteration of the existing carport. 222 Screven Street. TMS# 05-0030-160-00-00.** Request to construct an addition to the existing home, to include a master suite, attached garage, and gallery area. The existing carport, either in whole or in part, may need to be demolished; however, it is the intent of the applicant to enclose the existing carport to create the master suite.

1. Staff Presentation
2. Applicant Presentation
3. Public Input *(Chairman to determine time limit in accordance with Article III Section 5 of the Architectural Review Board bylaws)*
4. Applicant Reply
5. Motion and Board Discussion

- E. ARB-2026-0020 – Request: Addition and enclosure. 209 Cannon Street. TMS# 05-0030-180-00-00.** Request to construct a breezeway, including a small bath, and enclosure of a rear deck.

1. Staff Presentation
2. Applicant Presentation
3. Public Input *(Chairman to determine time limit in accordance with Article III Section 5 of the Architectural Review Board bylaws)*
4. Applicant Reply
5. Motion and Board Discussion

- F. ARB-2026-0022 – Request: Demolition of additions, modifications and repairs to the existing structure, new addition, and new construction of an accessory structure with a porch. 221 Cannon Street. TMS# 05-0030-178-00-00.** Request to demolish a non-historic in-fill addition to the home, replace upper windows on the rear elevation, repair existing brick on the chimney, new one-story addition, extension of the roof and awning on the main structure, relocate existing electrical panel, and construct a new-two-story detached structure – a garage and conditioned studio space – with a one-story covered porch and fireplace.

1. Staff Presentation
2. Applicant Presentation
3. Public Input *(Chairman to determine time limit in accordance with Article III Section 5 of the Architectural Review Board bylaws)*
4. Applicant Reply
5. Motion and Board Discussion

VI. BOARD DISCUSSION

- A.** Discussion of potential amendments to the Unified Development Ordinance (UDO) regarding historic district criteria

VII. MOTION TO AUTHORIZE STAFF TO TYPE HANDWRITTEN CHANGES ON THE ORDERS OF THE BOARD

VIII. ADJOURNMENT

MAYOR
JAY DOYLE

CITY ADMINISTRATOR
SCOTT WHITTIER

CITY CLERK
STEPHANIE BUCCIONE



COUNCIL MEMBERS
MAYOR PRO TEMPORE
JESSIE WALKER

BRUCE CARL
ERIN ETHRIDGE
TAMIKA WILLIAMS-OBENG
SHARON MELTON
HOBSON HENRY MILTON

Planning and Community Development
(843) 545-4010

CITY OF GEORGETOWN ARCHITECTURAL REVIEW BOARD

MEETING DATE: July 6, 2026

AGENDA ITEM: ARB-2026-0015 – Request: Revision. 607 Duke Street. TMS# 05-0030-079-00-00. Request to revise the previously approved porch renovations, to include elevating the porch roof to be same height as the main roof. The foundation, steps, roofing material, and roof pitch are to remain the same. Posts to be replaced in compliance with previously approved COA.

PROPERTY INFORMATION:

Address:	607 Duke Street
Applicant/Property Owner:	Sheila Gardner
Zoning District:	High Density Residential (R4) <i>(Reference item 1)</i>
Overlay District:	Historic Buildings Overlay District (HD) <i>(Reference item 1)</i>
2040 Comprehensive Plan – FLUM:	Historic District Residential <i>(Reference item 2)</i>
Flood Zone:	Zone X (None)
Use of the Property:	Single-family residential dwelling
Contribution to Historic District:	Yes <i>(See attached)</i>

APPLICABLE GUIDELINES:

All applicable guidelines can be found in the City of Georgetown Unified Development Ordinance Article XX: Historic Buildings District on the City of Georgetown website.

2011 Standards for Residential Properties – Details

2011.10 Porches, Columns, and Railings

2011.1001 Policy and Justification

Original porches should be repaired, preserved and maintained. Those on the primary façades of dwellings should not be enclosed with wood or glass panels. The screening of porches on the fronts of dwellings is appropriate if the framing is kept to a minimum. If repair of porch elements is required, use materials to closely match those which exist. If porch elements such as columns, balusters, or floorboards are deteriorated and need replacement, alternative materials may be considered. If an original porch is missing, a new porch may be constructed based upon photographic or physical evidence or based upon the design of similar style and age dwellings. In some cases, dwellings had their original porches removed and replaced with Craftsman/Bungalow style porches in the 1920s and 1930s. These porches reflect the historical evolution of property and may be significant in their own right.

2011.1002 Standards

- (1)** Repair porch elements with materials to match the original.
- (2)** Replace porch elements with materials to match the original.
- (3)** Ceiling fans may be installed on porches.
- (4)** Porches on front and side facades should be maintained in their original configuration and with original materials and detailing.
- (5)** Porches should not be removed if original.
- (6)** Porches on front and readily visible side elevations should not be enclosed with glass or wood panels. Those on rear or non-readily visible side facades may be enclosed with acceptable glass or wood panels as long as there is no removal of extensive historic fabric and the enclosure is reversible.
- (7)** The enclosure of front porches and those on readily visible side elevations with screen panels may be appropriate if the framing is minimal and the viewing of the façade behind the screen panels is not significantly impaired.
- (8)** Porches which have wood floors should have wood stairs repaired or replaced as needed, not brick or concrete. On rear or non-readily visible side elevations wood stairs are also recommended but brick or cast concrete steps may be added at these locations.
- (9)** Porches on the fronts of dwellings may be partially enclosed with lattice panels compatible with the style of the house for privacy. This should not exceed more than one-third of the porch area in order to maintain its traditional open appearance. Lattice panels should be compatible with the style of the house and be added behind, not in front, of porch columns and railings. Lattice panels in traditional square and diagonal designs are appropriate.
- (10)** The use of trellis panels is appropriate for porches on all elevations.
- (11)** Wood porch floors that are deteriorated should be replaced with wood tongue and groove flooring or boards running perpendicular to the façade. The use of alternative porch floor materials may be considered on rear elevations.
- (12)** Porches that are missing their original columns and balusters should be rebuilt based upon photographic or physical evidence. If no evidence exists, porches should be rebuilt in keeping with porches of similar house styles and age.
- (13)** Balusters (also called spindles) should be carefully sized for any replacement porch. Milled spindles measuring 3 feet high and 2 inches in diameter are best for Georgian, Federal, Queen Anne, and Folk Victorian dwellings. Balusters or spindles which are smaller than 2 inches in diameter are not appropriate for exterior porches. Square balusters which are 3 feet high and 2 inches to 3 inches in width and depth are best for Craftsman/Bungalow dwellings.

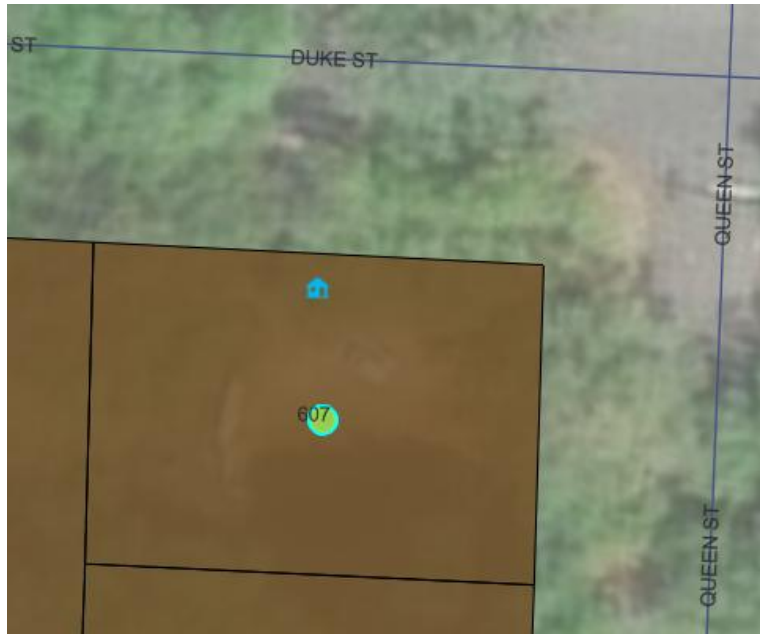
OPTIONS:

1. Approve request as submitted by applicant.
2. Approve application with conditions imposed by the Architectural Review Board.
3. Deny request.
4. Defer request for more information. The time limit of deferral must be mutually agreed upon between the board and the applicant.

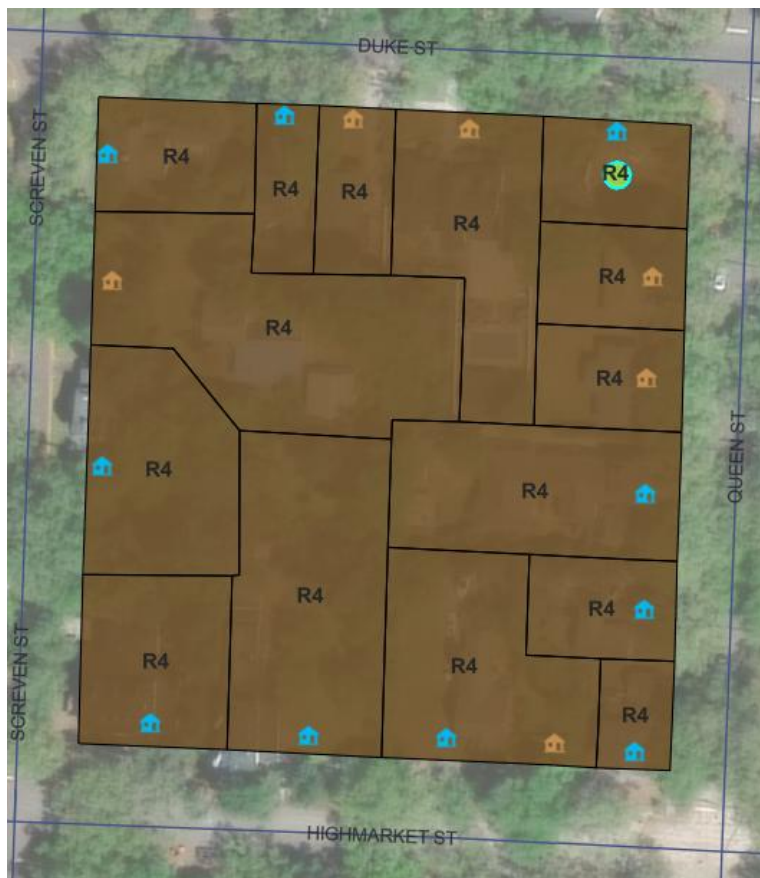
If approved, building permit application, a copy of the COA, and applicable fees are required to be submitted to the Planning & Community Development Department prior to commencement of any work.

REFERENCE MATERIALS

REFERENCE ITEM 1: City of Georgetown Zoning Map *Please note the new Historic District Survey layer indicators. Orange indicates a Non-Contributing status, Blue indicates a Contributing status, black indicates no survey.*



Parcel View



Block View

REFERENCE ITEM 2: City of Georgetown Future Land Use Map *Approximate position of property in question indicated by dot.*



Statewide Survey of Historic Properties
State Historic Preservation Office
South Carolina Department of Archives and History
8301 Parklane Rd.
Columbia, SC 29223-4905 (803) 896-6100

Control Number: U / 43 / 191-0814
Status County No Site No
Quad Name: Georgetown South
Tax Map No.: 05-0030-079-00-00

Intensive Documentation Form

Identification

Historic Name:

Common Name:

Address/Location: 607 Duke Street

City: Georgetown

County: Georgetown

Vicinity of:

Ownership: Private

Category: building

Historical Use: Domestic

Current Use: Domestic

National Register of Historic Places Information

SHPO National Register Determination: Contributes to Listed District

Notes on National Register Status: This resource was constructed after the Georgetown National Register Historic District's period of significance; however it would be a contributing resource if the historic district's period of significance is expanded to include the 1922-1960 period.

Other Designation:

Property Description

Construction Date: 1950

Commercial Form:

Stories: 1 1/2 stories

Alteration Date:

Historic Core Shape: rectangular

Roof Features

Shape: gable, lateral

Porch Features

Porch Width: full facade

Materials: composition shingle

Shape: gable

Construction Method: frame

Exterior Walls: asbestos shingle

Foundation: brick

Significant Architectural Features: Frame vernacular; 2/2 sash and 4-light picture window, metal filigree porch supports, rear 1-story ell with secondary entrance.

Alterations:

Architect(s)/Builder(s):

Historical Information

Historical Information:

Source of information:

Photographs

Roll No.	Neg. No.	View of
		Rear and Side Elevations, Looking NW
		Façade and Side Elevations, Looking SSW
		Façade and Side Elevations, Looking W



Program Management

Recorded by: Ellen Jenkins (TRC)

Date Recorded: 6/26/2010

191-0814: 607 Duke Street



Date Filed: 5-14-26

ARB Request Form

Appeal #: ARB2026-0015

Description of Request:

Request to revise previous approval regarding porch renovations to include
- Elevate porch roof to be same height as main roof, Foundation, steps, roofing material, roof pitch, all to remain the same
- Posts to be replaced in compliance with previous ARB approval.

List of materials to be used:

Siding: fiber cement siding- douson lumber

In addition to this application, the following supporting materials have been submitted.

- elevation drawings
- order of the board

I certify that all the information included within this application is accurate and true:

Signature:

Sheila D. Gardner

Date:

5-14-26

FOR OFFICE USE ONLY

Appeal Number:

ARB-2026-0015

Applicable fee:

\$ 100.00

Date Received:

5/14/26

Meeting Date:

7/6/26

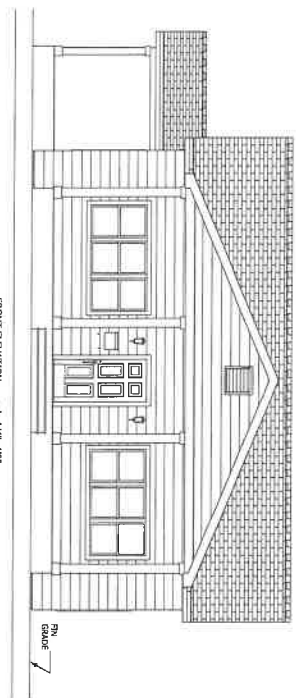
Code Compliance

Building Code:

Flood Code:

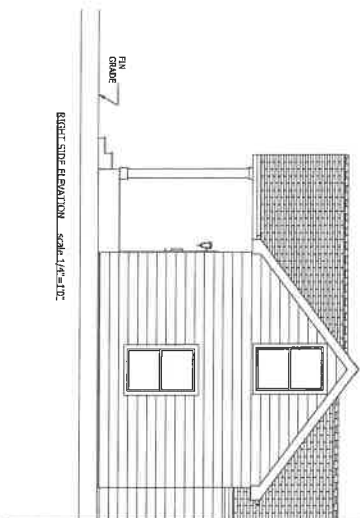
Zoning Code:

Notes:

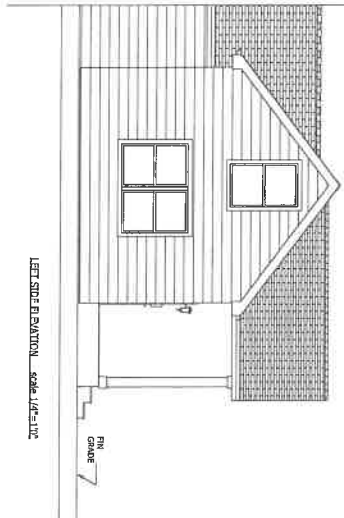


FRONT ELEVATION - scale 1/4"=1'-0"

NOTES:
 ROOF JOIST TO BE REMOVED AND REPLACED THE SIZE AND LOCATION
 RESTING FOUNDATION STEPS TO EXPLAIN
 APPLICABLE ROOF SPACES TO MATCH MAIN FLOOR
 ROOF JOIST FIT TO BE THE SAME AS EXISTING PERIOD
 BASE PORCH ROOF TO BE THE SAME EAVE HEIGHT AS MAIN FLOOR
 ROOF TO BE FINISHED SYNTHETIC WHITE WHITE & BOTTOM BASE/ PAINTED OR VARNISH



RIGHT SIDE ELEVATION - scale 1/4"=1'-0"



LEFT SIDE ELEVATION - scale 1/4"=1'-0"

NOTE: These plans are the property of QUALITY HOME PLANS, INC. of which only one residence can be built from without the permission of the designer which is copy right protected. The contractor shall verify all dimensions and enclosed drawings. QUALITY HOME PLANS, INC. is not liable for errors once construction has begun. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

SHEET: **A-1**

START DATE: MARCH 2016
 OHP HOMES FOR TODAY

Quality Home Plans, Inc. 5595 Choppage Road, Georgetown, S.C. 29440 Email: cindyowens1972@gmail.com

PROJECT NAME: SHEILA GARDNER
 PROJECT LOCATION: 607 DALE STREET CITY OF GEORGETOWN

DRAWN BY: CYNTHIA OWENS
 FILE NAME: Gardner55025D.gardner55025

REVISION TABLE			
NUMBER	DATE	REVISED BY	DESCRIPTION

STATE OF SOUTH CAROLINA)
)
CITY OF GEORGETOWN)
In re:)
)
607 Duke St)

**BEFORE THE ARCHITECTURAL
REVIEW BOARD**
Case No.: ARB#2026-0005

ORDER OF THE BOARD

This Board met on March 2, 2026, pursuant to the request of the applicant to replace windows, repair front porch, replace rod iron rails with wood columns, citing Economic Hardship for the window replacement for a residential property located at 607 Duke St. (TMS#: 05-0030-079-00-00), within the R4 Zoning District and the HB Historic Buildings District.

The applicant(s), and the Zoning Administrator were given the opportunity to offer witnesses and exhibits and to make arguments for the record. A public meeting was held and all interested parties were invited to comment before the Board.

CONCLUSIONS OF THE BOARD

The Board finds that the request **meets** the criteria set forth in the City of Georgetown Unified Development Ordinance Article XX: Historic Buildings District. Therefore, the following motion was made to approve the request:

“I make a motion to approve the application as submitted, citing Chapter 20: Sections 2011.10; 2011.13, and 2011.1.

This motion passed with a vote of 4-0.

AND IT IS SO ORDERED, this 2nd day of March, 2026.

DocuSigned by:
Kevin Jayroe / 2026
FBABCBF2C2EC4CD...

Kevin Jayroe, Chairperson

ATTEST:
Signed by:
Brittany Powell / 2/2026
BF70432A80F5476...

Brittany Powell, Secretary to the Board

CITY OF GEORGETOWN PLANNING & COMMUNITY DEVELOPMENT
P.O. DRAWER 939
GEORGETOWN, SOUTH CAROLINA 29442
(843) 545-4010

**CERTIFICATE
OF
APPROPRIATENESS**

Property Owner (s): Sheila Gardner
ARB-2026-0005
TAX MAP #: 05-0030-079-00-00
SITE ADDRESS: 607 Duke St.

NATURE OF APPLICATION: The applicant submitted a request to replace windows, repair front porch, replace rod iron rails with wood columns, citing Economic Hardship for the window replacement.

RULING IMPOSED BY THE ARCHITECTURAL REVIEW BOARD: On March 2, 2026, the board gave the following ruling: Approve.

CONDITIONS IMPOSED BY THE ARCHITECTURAL REVIEW BOARD: None.

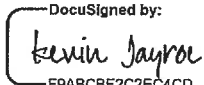
MOTION DETAIL: Motion to approve the design, as presented. *This motion carried with a vote of 4-0.*

CITING THE FOLLOWING GUIDELINES:

1. Chapter 20: Historic Buildings District
 - a. Section 2011.10 Porches, Columns, and Railings
 - b. Section 2011.13 Windows and Shutters
 - c. Section 2021.1 Economic Hardship and Applicability

This CERTIFICATE acknowledges that this application to the Architectural Review Board has been determined to be appropriate and in keeping with the historic and architectural qualities of the Historic Buildings District. This CERTIFICATE is awarded subject to strict adherence to the above conditions and conformance with your presentation to the Board. This CERTIFICATE should not be construed as approval from the City Building and Planning Department. All permits, licenses and fees must be secured after award of this certificate. The time limit for all projects will be 2 years after the issuance of the COA, after which a property owner can apply for an extension through the Architectural Review Board. This permit is non-transferrable.

Decisions of the Architectural Review Board are appealed to circuit court. A petition must be made to the court within 30 days after receipt of this certificate.

DocuSigned by:

F9ABCBF2C2EC4CD...
Chairman

3/2/2026
Date

MAYOR
JAY DOYLE

CITY ADMINISTRATOR
SCOTT WHITTIER

CITY CLERK
STEPHANIE BUCCIONE



COUNCIL MEMBERS
MAYOR PRO TEMPORE
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Planning and Community Development
(843) 545-4010

CITY OF GEORGETOWN ARCHITECTURAL REVIEW BOARD

MEETING DATE: July 6, 2026

AGENDA ITEM: ARB-2026-0017 – Request: Demolition of an accessory structure, and construction of a new accessory structure with an ADU. 411 Highmarket St. TMS# 05-0030-200-00-00. Request to demolish the existing shed, and construct a two-story detached garage with an accessory dwelling unit, to include improved parking and driveway areas.

PROPERTY INFORMATION:

Address:	411 Highmarket Street
Applicant:	Lina Jimenez
Property Owner:	Robert & Jennifer Dixon
Zoning District:	High Density Residential (R4) (Reference item 1)
Overlay District:	Historic Buildings Overlay District (HD) (Reference item 1)
2040 Comprehensive Plan – FLUM:	Historic District Residential (Reference item 2)
Flood Zone:	AE10 (Reference item 3)
Use of the Property:	Single-family residential dwelling
Contribution to Historic District:	Yes (See attached)

APPLICABLE GUIDELINES:

All applicable guidelines can be found in the City of Georgetown Unified Development Ordinance Article XX: Historic Buildings District on the City of Georgetown website.

2012 Standards for Residential Properties – Setting

2012.1 Driveways and Parking Areas

2012.101 Policy and Justification

The consistency and repetition of driveway spacing, placement, dimensions, and materials are an important part of the residential area’s streetscapes. Parking areas should only be on side and rear elevations of a dwelling and not in front yards. Traditional paving materials such as sand, brick, and concrete are encouraged over black asphalt and similar modern materials. The use of permeable paving materials for driveways and parking areas is encouraged to allow water absorption into the ground and reduce flooding.

2012.102 Standards

- (1) Preserve original driveway materials such as sand, tabby concrete, crushed gravel, or concrete. Original designs such as concrete “ribbon” driveways contribute to the character of a dwelling and should be preserved.
- (2) Driveway widths should be limited to a width of one car.

- (3) Driveways and parking areas in side and rear yards should be of gravel (white or pea gravel), brick, sand, tabby, grass, concrete, textured concrete, or concrete ribbons (narrow strips).
- (4) Screen and minimize the visual impact of parking areas in rear or side yards with hedges, shrubs, or fences.
- (5) New curb cuts to driveways and parking lots should be kept to a minimum, as they usually result in the removal of historic sidewalk materials, curbs, and retaining walls. Curb cuts require SCDOT or City of Georgetown approval, depending on right-of-way ownership.
- (6) Commercially used houses, churches, apartment buildings, or schools, driveways and parking areas should be located in rear yards, if possible, but, when necessary, in a side yard. Parking areas should be located no closer than the front wall of the building.
- (7) Screening of parking areas on vacant lots between buildings must align with front facades of adjacent buildings.
- (8) Sidewalks and driveways must be oriented perpendicular to the street. If historical documentation provides evidence of curvilinear designs or other shapes and designs on that site or other similar house styles, such shapes may be considered.
- (9) Maintain the continuity of existing driveways and the curb cut radius or curved approach in the districts when introducing new driveways.
- (10) Locate new driveways and sidewalks so that the topography of the dwelling site and significant landscape features, such as mature trees, are retained. Protect mature trees and other significant landscape features from direct construction damage or from delayed damage such as destruction of root area or soil compaction by construction equipment.

2012.3 Garages, Sheds, Outbuildings, and Ancillary Outdoor Structures

2012.301 Policy and Justification

Outbuildings are part of the historical and architectural significance of the historic district and reflect the cultural and technological changes over time. Historic outbuildings should be preserved and maintained. They should be repaired with materials and details to match the original. Georgetown has a tradition of ancillary and support buildings constructed in the rear yard of dwellings. These types of structures are appropriate if they are compatible with the primary dwelling in design and materials and are sited at traditional locations at the rear of the dwelling and not readily visible.

The general approach to new construction for outbuildings is to be secondary in scale and compatible with adjacent dwellings. Compatible means reinforcing typical features that the primary dwelling on the lot may have as well as other dwellings and outbuildings along the block. Architects and property owners are encouraged to design outbuildings compatible with the context of primary dwellings on the lot and adjacent historic dwellings. Replications or reproductions of historic designs are also appropriate and acceptable for Georgetown's historic residential areas. The erection of ancillary outdoor features may be appropriate if they are sited in rear or side yards not readily visible from the street and adequately screened.

2012.302 Standards

- (1)** Repair or replace original materials with in-kind materials to match.
- (2)** Original garages, carriage houses, sheds, and outbuildings that retain their historic architectural character should be preserved and maintained.
- (3)** Original outbuildings should be repaired with materials to match the original. If original

garage doors on contributing buildings are missing or damaged, sectional overhead roll-up doors and side-hinged doors of wood in historic designs are appropriate. For non contributing buildings these designs are also recommended, and doors of metal, composite, and other alternative materials will be considered.

(4) Replace damaged or deteriorated sections of historic garages and accessory structures, only if deteriorated beyond repair and with in-kind materials to match the original. Where possible, replace only the damaged or deteriorated portions rather than the entire feature.

(5) Outbuildings were often built without gutters and those of frame construction may have deterioration of the sills and lower siding materials. If this is the case, consider only repairing these damaged areas rather than replacing the entire structure. Original foundation materials should be preserved and maintained.

(6) New garages and outbuildings should follow the historic setback for an outbuilding or garage on the property or patterns of other garages and outbuildings in the streetscape or historic district.

(7) Reconstruction of a missing or replacement garage or outbuilding must be based on accurate evidence of the original configuration, form, massing, style, placement, and detail and confirmed with photographs or other documentation of the original building.

(8) The design of new garages and outbuildings must be secondary to that of the primary historic dwelling. Under no circumstance should any outbuilding be larger than the primary structure.

(9) New garages and outbuildings should be compatible in size, scale, proportion, spacing, texture, setbacks, height, materials, color, and detail to the primary dwelling and should relate to similar secondary buildings along the block.

(10) Materials used for new garages and outbuildings should reflect historical development of the property. Materials used at exterior façades of garages and outbuildings were often different (and less costly) than that of the main dwelling. Materials that are appropriate for new secondary buildings include wood or brick. If frame buildings are constructed, alternative materials may be considered if they resemble traditional wood siding in texture, dimension, and overall appearance. Materials such as T1-11 siding are not sufficiently durable for exterior use and are not appropriate.

(11) New outbuildings should be added in traditional locations such as along rear or side lot lines or in rear yards not readily visible from the public right-of-way.

(12) The spacing and size of window and door openings in a new garage or outbuilding should be consistent with the historical development of the property and similar to their historic counterparts within the streetscape or historic district, as should the proportion of window to wall space.

(13) Metal garage doors with a paneled design may be appropriate. These doors can be used on garages that are located at the back of the lot and are minimally visible from the street or public right-of-way. If the garage and garage doors are highly visible from a public street or located on a corner lot, install solid wood or wood garage doors with a paneled design.

(14) At double garages, two single garage doors rather than one larger, double door shall be installed. This will maintain the scale and rhythm of older structures, making a two-car garage seem smaller and more compatible with the primary dwelling.

(15) Prefabricated storage units less than six feet in height may be appropriate for back yards if not visible from the public right-of-way. Prefabricated carports and sheds are not permitted.

(16) The appearance and location of a new outbuilding should be based on the appearance of the historic outbuilding if such existed. Use historic photographs and other documentation such as Sanborn Fire Insurance maps for guidance as to size and location of a previous outbuilding on the property.

(17) If documentation of a historical outbuilding at the site is not available, the size, design, and location of a new outbuilding should be in keeping with other outbuildings in the block and historic district and complement the design of the main structure.

(18) If mechanical equipment, skylights, or solar panels are placed on the roof of a garage or other outbuilding, they should be set back or screened so that they are not readily visible from the public right-of-way.

(19) The installation or erection of ancillary outdoor features will be considered if located in rear or side yards, of a scale appropriate for the location, built with materials traditionally found in the historic district such as wood or brick, and such features complement the architectural design of the dwelling or main building and other improvements on the property and adjacent properties. In some instances, a readily visible ancillary outdoor feature may be required to be adequately screened to lessen its visual impact.

(20) New carports should be located at the rear of dwellings and not visible. Carport designs with flat roofs and metal support columns and are not compatible with historic building designs. Carports imitative of porte-cocheres (drive-thru wings on historic dwellings) with wood or brick columns, flat roofs, and wood construction may be added to sides of dwellings visible from the street. Carports should be reflective of the architecture of the house and not detract from the dwelling's original design.

2020 Demolition of Structures

2020.1 Demolition

2020.101 Policy and Justification

Demolitions have a domino effect of continual erosion by further demolitions which destroy the historic district's architectural history and historic character. Demolition of buildings that contribute to the historic or architectural significance of the district should only be an action of last resort. Vacant or empty lots in the historic district are not appropriate. Relocation of an existing historic building to a compatible location in the historic district is always preferred. Demolition of existing structures within the historic district must be approved by the ARB. Demolition through neglect is not permitted and owners who do not conform to maintenance codes may be subject to legal action (See Section 2022.2 Demolition by Neglect).

Applicants should understand that a demolition request involving contributing properties cannot be settled in a single ARB meeting but may take months to reach a final decision. The ARB will need to inspect the building inside and out as well as the site, setting, location and related outbuildings. Consultation with experts may be necessary. A decision can only be reached after thorough analysis of the historic and architectural documentation that must accompany an application for demolition.

The reasons for demolition will be as carefully evaluated as to the historic and architectural significance of the property if they involve claims that the building is beyond repair or rehabilitation. However, if the building is planned for demolition to accommodate new construction, expansion of another building or new development, the ARB may not receive the future replacement designs for review until a later meeting after the demolition decision is reached. On the other hand, if the present building can be incorporated into the new construction in some manner, the ARB may request those future plans and drawings.

2020.102 Standards

(1) Demolition of a building that contributes to the historic or architectural significance of the historic district should not occur, unless:

- (a) public safety and welfare require the removal of the building or structure;
- (b) the building has lost its architectural and historical value;

(c) the building does not contribute to the historical or architectural character of the historic district, its removal will improve the appearance of the district, and will not adversely impact the integrity of the historic streetscape and the historic district; or if the denial of the demolition will result in a substantial economic hardship on the applicant (See Section 0

(d) Economic Hardship and Applicability).

(2) In order for the ARB to reach the important decision of demolishing a contributing building, the owner should submit with the application historic background and archival research, thorough documentation of the building and property, and a plan for dismantling of historic materials for salvation. Such materials to be salvaged include historic timber framing, windows, doors, mantels, newel posts, balusters, moldings, flooring, hardware, metalwork, brackets, weatherboard, brick, stone, other masonry components, and any other interior or exterior decorative elements.

(3) If demolition appears inevitable, the owner is encouraged to consider moving or relocating the building to another location within or near the historic district, and the ARB may pursue measures with the owner and other parties to preserve the contributing resource.

(4) An experienced, licensed, and qualified structural or architectural engineer and builder with experience on historic buildings should evaluate the condition of the subject building and whether it might be able to withstand relocation as an alternative to demolition. This assessment should consider how much damage can be caused by removal and be compiled into a historic conditions report for the ARB evaluation. In situations involving contributing properties, other expert consultation including the SC Department of Archives and History may be necessary.

(5) If relocation is approved, follow the applicable guidelines under Moving or Relocation of Contributing Buildings (see Section 2021 Relocation of Structures).

(6) When approved, the demolition should be accomplished in a manner that will preserve existing trees and major vegetation.

APPLICABLE UDO GUIDELINES:

All applicable guidelines can be found in the City of Georgetown Unified Development Ordinance (UDO) on the City of Georgetown website.

Section 600 Zoning District use Classifications Chart Key

Section 601 residential Use Classifications

601 Residential Use Classifications

Residential Use Classifications	R1	R2	R3	R4	R5	MR	Conditions
Accessory Dwelling	P	P	P	P	P		

802 Accessory Use, Building, Structure.

No accessory building, structure or use in any district shall be established, erected, or maintained without a principal use or without a permit. Accessory uses, buildings and structures shall not be located forward of the principal structure.

802.1 General Provisions.

All zoning districts shall limit cumulative area of accessory uses, buildings and structures to 10% of the gross square footage of the parcel. A site plan shall be approved by the Zoning Administrator and a permit shall be required.

802.2 Residential Properties.

Each accessory use, building or structure shall be separated at least six (6) feet from any other building, structure, use or property line.

802.201 Accessory uses, buildings, and structures in residential zoning districts shall be limited to three (3) per parcel and shall be no more than 20 feet in height.

802.202 The establishment of any accessory building or structure shall not result in accessory uses, buildings, and structures exceeding 2,500 square feet in total.

802.203 No one accessory use, building, or structure in a residential zoning district shall exceed the size of the primary accessory use, building or structure.

802.204 Additions attached to the primary structure via a conditioned walkway, as well as attached decks, carports and garages (open-air or enclosed) shall not be considered accessory structures and must comply with setback requirements as defined in Article V: Area, Yard, and Height Requirements for the applicable zoning district.

802.205 Buildings or structures either entirely detached or attached via a non-conditioned walkway are to be considered accessory structures.

OPTIONS:

1. Approve request as submitted by applicant.
2. Approve application with conditions imposed by the Architectural Review Board.
3. Deny request.
4. Defer request for more information. The time limit of deferral must be mutually agreed upon between the board and the applicant.

If approved, building permit application, a copy of the COA, and applicable fees are required to be submitted to the Planning & Community Development Department prior to commencement of any work.

REFERENCE MATERIALS

REFERENCE ITEM 1: City of Georgetown Zoning Map *Please note the new Historic District Survey layer indicators. Orange indicates a Non-Contributing status, Blue indicates a Contributing status, black indicates no survey.*



Parcel View



Block View

REFERENCE ITEM 2: City of Georgetown Future Land Use Map

Approximate position of property in question indicated by dot.



REFERENCE ITEM 3: FEMA Flood Map

411 Highmarket St, Georgetown, SC 29440

Edit Share public profile

Overview Activity Records Files

Warnings Edit warnings

Flood insurance requirement

Flood info Effective FIRM

Flood zone	AE
Coastal A zone	No
Supplemental Coastal A	No
In Floodway	No
In CBRS	No
In OPA	No
Base Flood Elevation	10.0 ft
Design Flood Elevation	12.0 ft

Statewide Survey of Historic Properties
State Historic Preservation Office
South Carolina Department of Archives and History
8301 Parklane Rd.
Columbia, SC 29223-4905 (803) 896-6100

Control Number: U / 43 / 191-0958
Status County No Site No
Quad Name: Georgetown South
Tax Map No.: 05-0030-200-00-00

Intensive Documentation Form

Identification

Historic Name:

Common Name:

Address/Location: 411 Highmarket Street

City: Georgetown

County: Georgetown

Vicinity of:

Ownership: Private

Category: building

Historical Use: Domestic

Current Use: Domestic

National Register of Historic Places Information

SHPO National Register Determination: Contributes to Listed District

Notes on National Register Status: This resource was constructed after the Georgetown National Register Historic District's period of significance; however it would be a contributing resource if the historic district's period of significance is expanded to include the 1922-1960 period.

Other Designation:

Property Description

Construction Date: 1935

Commercial Form:

Stories: 1 story

Alteration Date: c. 2010

Historic Core Shape: rectangular

Roof Features

Shape: gable, end to front

Materials: composition shingle

Porch Features

Porch Width: facade and left elevation

Shape: hip

Construction Method: frame

Exterior Walls: synthetic siding

Foundation: stuccoed masonry

Significant Architectural Features: Frame Vernacular: 1/1 sash, grouped tapered posts on brick pedestals, projecting front gable bay.

Alterations:

c. 2010: 1-story rear addition with fireplace, siding and windows.

Architect(s)/Builder(s):

Historical Information

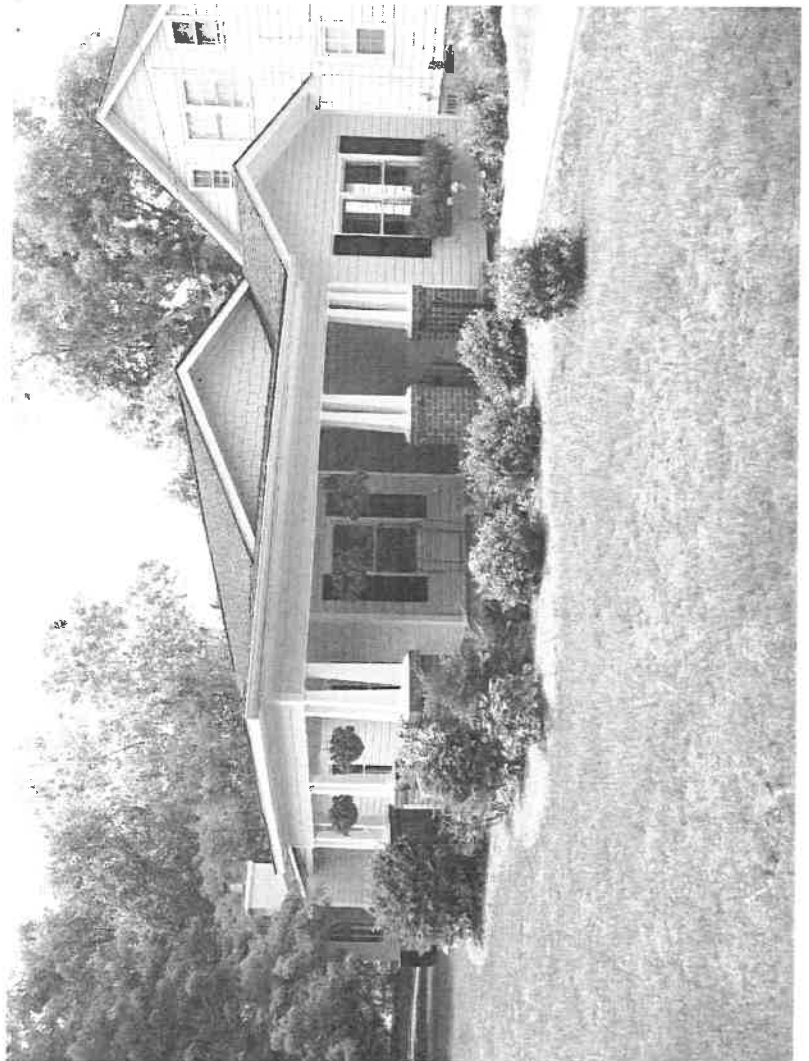
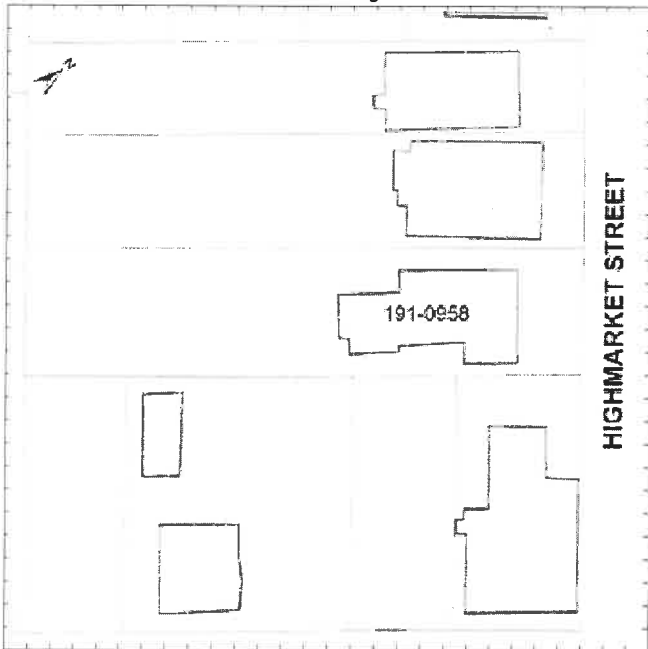
Historical Information:

Source of Information: Sanborn Map: 1924-1932.

Photographs

Roll No. Neg. No. View of
Façade and Side Elevations, Looking W
Façade and Side Elevations, Looking S

Use Grid for Sketching



Program Management

Recorded by: Ellen Jenkins (TRC)

Date Recorded: 6/24/2010

191-0958: 411 Highmarket Street



Date Filed: _____

ARB Request Form

Appeal #: _____

Description of Request:

Establishment of garage apartment ADU to include parking and driveway areas.
Demolition of existing storage shed in rear yard.

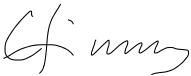
List of materials to be used:

Parking area / Driveway: Gravel Siding Materials: Cement Board Siding, smooth side out 1. Shake siding on upper floor of proposed structure to match shake siding on gable of primary structure 2. Horizontal siding on lower floor of proposed structure to match first floor of primary structure 3. Window/door trim to match primary structure 4. Brick veneer for foundation to match primary structure	Roofing Material: Shingles to match primary Gutters: Aluminum Windows: 0 over 0 aluminum clad windows, to match primary structure Shutters: Composite wood, raised panel design to match primary structure Garage Doors: Aluminum carriage doors Exterior Doors: Aluminum, to match 6 panel front door of primary structure Exterior Lighting: Sconces to match primary structure Addition of shrubbery around proposed structure
---	--

In addition to this application, the following supporting materials have been submitted.

Architectural Plans, Site Plan

I certify that all the information included within this application is accurate and true:

Signature:	Date:
	6.5.26

FOR OFFICE USE ONLY

Appeal Number:	Applicable fee:
Date Received:	Meeting Date:

Code Compliance

Building Code:	
Flood Code:	
Zoning Code:	

Notes:

Note: Contact and verify with Design House any plan, dimension, or other discrepancies. It is crucial to verify of windows, doors, fixtures, casework, and design selections (including landscape plan) for windows and doors) directly with the contractor before any plan modifications or material orders. It is the contractor's responsibility to verify all dimensions and materials. All dimensions are to the centerline of the structure unless otherwise noted. **5/20/2025 8:46:15 AM**

DESIGNED BY: PAUL B. BERT
 DRAWN BY: PATRICIA G. JOHNSON
 TMS# 05-0000-200-00-00
 DR: 4651 - PG. 31/32

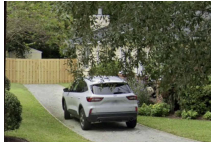
PLC OF LOT 262
 NICHOLAS DE WINKO
 TMS# 05-0000-200-00-00
 DR: 4651 - PG. 31/32

PLC OF LOT 262
 NICHOLAS DE WINKO
 TMS# 05-0000-200-00-00
 DR: 2494 - PG. 33/31

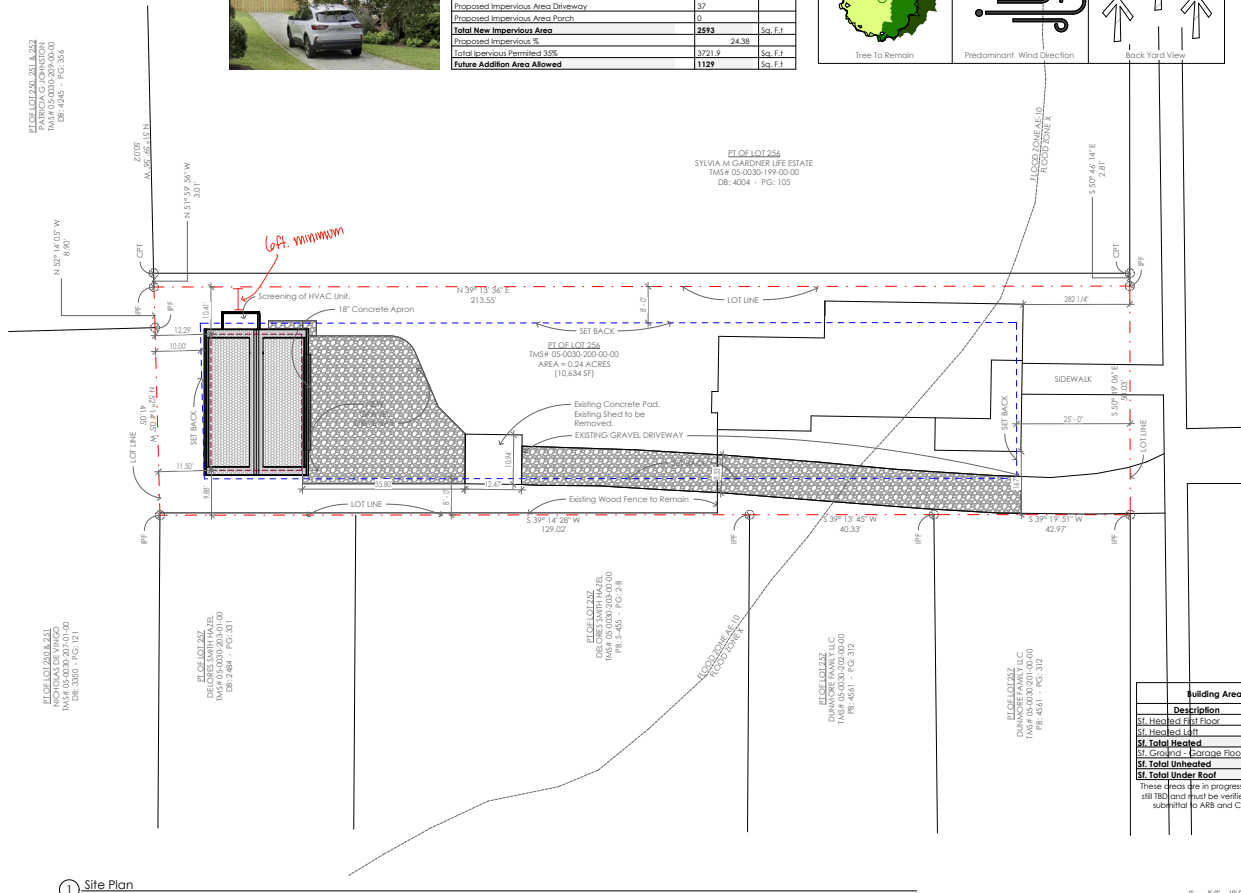
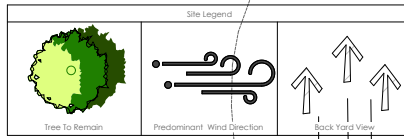
PLC OF LOT 262
 DIXON'S SMITHFIELD
 TMS# 05-0000-200-00-00
 DR: 4651 - PG. 31/32

PLC OF LOT 262
 DIXON'S SMITHFIELD
 TMS# 05-0000-200-00-00
 DR: 4651 - PG. 31/32

PLC OF LOT 262
 DIXON'S SMITHFIELD
 TMS# 05-0000-200-00-00
 DR: 4651 - PG. 31/32



LOT UTILIZATION		
Lot Area	10634	Sq. Ft.
Existing Impervious Area (Paved/Driveway)	1956	Sq. Ft.
Note: Shed will be removed and concrete pad will stay		
Existing Impervious %	18.4%	
Proposed Impervious - Garage Area Addition	400	Sq. Ft.
Proposed Impervious Area Driveway	37	Sq. Ft.
Proposed Impervious Area Porch	0	Sq. Ft.
Total New Impervious Area	2693	Sq. Ft.
Proposed Impervious %	24.3%	
Total Impervious Permitted 30%	3721.9	Sq. Ft.
Future Addition Area Allowed	1129	Sq. Ft.



PLC OF LOT 254
 SYLVIA M. GARDNER LIFE ESTATE
 TMS# 05-0000-199-00-00
 DR: 4004 - PG. 105

Building Areas	
Description	SF
St. Heated First Floor	0
St. Heated 1st Flr	277
St. Total Heated	277
St. Gravel - Garage Floor	600
St. Total Unheated	400
St. Total Under Roof	1077

These areas are in progress, most of them still TBD and must be verified before final submitted to AHS and Construction.

Design House
 Architecture
 Planning & Drafting Studio
 2500 North
 Florida State, FL 32305
 904.733.3443
 www.designhousellc.com

STATE OF SOUTH CAROLINA
 DESIGN HOUSE LLC
 No. 122202
 OFFICE OF PROFESSIONAL REGULATION

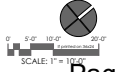
In Progress Not For Construction
 Dixon Garage Addition
 Georgetown, SC 29405

Robert L. Swartz, Owner
 800 Air Mail Dr
 North Augusta, SC 29414

Building Areas	
Description	SF
St. Heated First Floor	0
St. Heated 1st Flr	277
St. Total Heated	277
St. Gravel - Garage Floor	600
St. Total Unheated	400
St. Total Under Roof	1077

These areas are in progress, most of them still TBD and must be verified before final submitted to AHS and Construction.

1 Site Plan
 Scale: 1" = 10'-0"

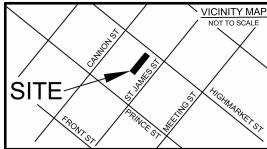


Note: Contact and verify with Design House any plan, dimension, or other discrepancies. If a record is to be made, contact and verify with the Surveyor before any plan, dimension, or other discrepancies. If a record is to be made, contact and verify with the Surveyor before any plan, dimension, or other discrepancies. If a record is to be made, contact and verify with the Surveyor before any plan, dimension, or other discrepancies.

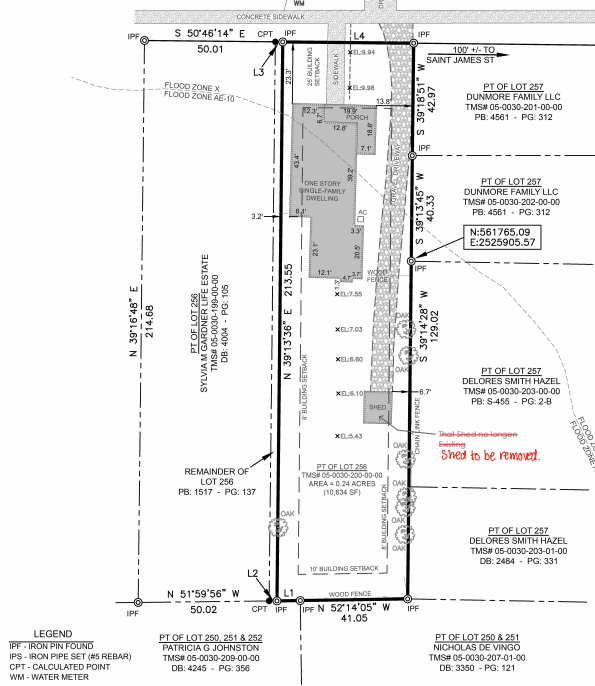


Robert A. Smith, Design
 No. 12232
 State of South Carolina
 Date of Expiration: 02/28/2025

In Progress Not For Construction
 Dixon Garage Addition



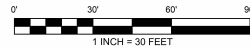
LINE	BEARING	DISTANCE
L1	N 52°14'00" W	8.90
L2	N 51°59'56" W	3.01
L3	S 50°46'14" E	2.81
L4	S 50°49'06" E	50.03



CERTIFICATE OF APPROVAL FOR RECORDING

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HERE
 HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION
 REGULATIONS FOR THE CITY OF GEORGETOWN, SOUTH
 CAROLINA WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY,
 AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION
 AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE
 OFFICE OF THE CLERK OF COURT.

NAME _____ DATE _____
 NAME _____ DATE _____
 NAME _____ DATE _____



EXISTING LOT OF RECORD
 CERTIFIED TO BE A RESURVEY OF A PIECE, PARCEL OR LOT
 OF LAND PREVIOUSLY RECORDED IN GEORGETOWN
 COUNTY IN PLAT BOOK: 1617, PAGE: 137.

Shed to be removed
PLAT

OF A RESURVEY OF A PORTION OF CITY LOT 258,
 LOCATED IN THE HISTORIC DISTRICT,
 OF THE CITY OF GEORGETOWN

PREPARED FOR

**ROBERT ALLEN DIXON JR &
JENNIFER LYNN DIXON**

GEORGETOWN COUNTY, SOUTH CAROLINA
 SURVEYED: MARCH 30, 2026

Survey Provided

NOTES

- TAX MAP NUMBER (TMS #): 05-0030-200-00-00
- CURRENT OWNER OF RECORD:
ROBERT ALLEN DIXON JR. & JENNIFER LYNN DIXON
587 RIVER NORTH DR
NORTH AUGUSTA, SOUTH CAROLINA 29841
- BEARINGS AND COORDINATES SHOWN ON THIS SURVEY ARE BASED ON THE SOUTH CAROLINA STATE PLANE COORDINATE SYSTEM NAD83 FROM OBSERVATIONS USING THE S.C.G.S. VRS NETWORK. ALL OTHER HORIZONTAL CONTROL SHOWN HEREIN IS DETERMINED BY GROUND MEASUREMENTS.
- THIS SURVEY IS NULL AND VOID IF SIGNATURE AND EMBOSSED SEAL ARE ABSENT
- THIS PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD. NO TITLE SEARCH PERFORMED BY THIS OFFICE.
- THIS PROPERTY IS ZONED "RM" IN THE CITY OF GEORGETOWN.
BUILDING SETBACKS: FRONT: 25'
SIDE: 5'
REAR: 10'
- THIS PROPERTY IS PARTIALLY LOCATED IN A SPECIAL FLOOD ZONE "AE-10" PER FEMA FLOOD MAP NO. 45043C0066G, EFFECTIVE ON MAY 9, 2023.

REFERENCES

- | | |
|--------------------|-----------|
| 1. DEED BOOK: 152 | PAGE: 656 |
| 2. PLAT BOOK: 1517 | PAGE: 137 |
| 3. PLAT BOOK: 4561 | PAGE: 312 |

I HEREBY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE,
 INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON
 WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF
 THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN
 SOUTH CAROLINA, AND MEETS OR EXCEEDS THE
 REQUIREMENTS FOR A CLASS B SURVEY AS SPECIFIED
 THEREIN. ALSO THERE ARE NO VISIBLE ENCROACHMENTS
 OR PROJECTIONS OTHER THAN SHOWN.

NICKEY LEWIS JR., PE, PLS S.C. PLS. 28555
 NICKEY LEWIS LAND SURVEYING, LLC
 4691 BULLARD ROAD
 HEMINGWAY, SC 29554
 PHONE: 843-326-4407



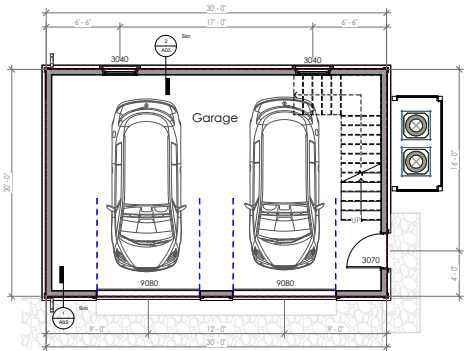
LEGEND
 IFF - IRON PIN FOUND
 IRS - IRON PIPE SET (AS REBAR)
 CPT - CALCULATED POINT
 WM - WATER METER

PT OF LOT 250, 251 & 252
 PATRICIA G. JOHNSTON
 TMS# 05-0030-209-00-00
 DB: 4246 - PG. 356

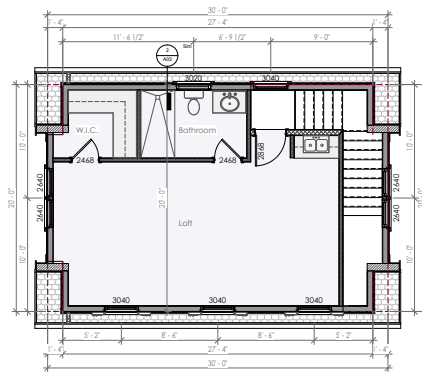
PT OF LOT 250 & 251
 NICHOLAS DE VINGO
 TMS# 05-0030-207-01-00
 DB: 3350 - PG. 121

1656

Note: Contact and verify with Design House any plan, dimension, or other discrepancies. It is crucial to verify if windows, doors, frames, caspartures and design selections (including cas and styles for windows and doors) directly with the manufacturer before any final installation or material orders to your north to easily reference them. A. Measurements and dimensions are taken from the exterior unless otherwise noted. B. Dimensions and dimensions are taken from the exterior unless otherwise noted. C. Dimensions and dimensions are taken from the exterior unless otherwise noted. D. Dimensions and dimensions are taken from the exterior unless otherwise noted. E. Dimensions and dimensions are taken from the exterior unless otherwise noted. F. Dimensions and dimensions are taken from the exterior unless otherwise noted. G. Dimensions and dimensions are taken from the exterior unless otherwise noted. H. Dimensions and dimensions are taken from the exterior unless otherwise noted. I. Dimensions and dimensions are taken from the exterior unless otherwise noted. J. Dimensions and dimensions are taken from the exterior unless otherwise noted. K. Dimensions and dimensions are taken from the exterior unless otherwise noted. L. Dimensions and dimensions are taken from the exterior unless otherwise noted. M. Dimensions and dimensions are taken from the exterior unless otherwise noted. N. Dimensions and dimensions are taken from the exterior unless otherwise noted. O. Dimensions and dimensions are taken from the exterior unless otherwise noted. P. Dimensions and dimensions are taken from the exterior unless otherwise noted. Q. Dimensions and dimensions are taken from the exterior unless otherwise noted. R. Dimensions and dimensions are taken from the exterior unless otherwise noted. S. Dimensions and dimensions are taken from the exterior unless otherwise noted. T. Dimensions and dimensions are taken from the exterior unless otherwise noted. U. Dimensions and dimensions are taken from the exterior unless otherwise noted. V. Dimensions and dimensions are taken from the exterior unless otherwise noted. W. Dimensions and dimensions are taken from the exterior unless otherwise noted. X. Dimensions and dimensions are taken from the exterior unless otherwise noted. Y. Dimensions and dimensions are taken from the exterior unless otherwise noted. Z. Dimensions and dimensions are taken from the exterior unless otherwise noted.



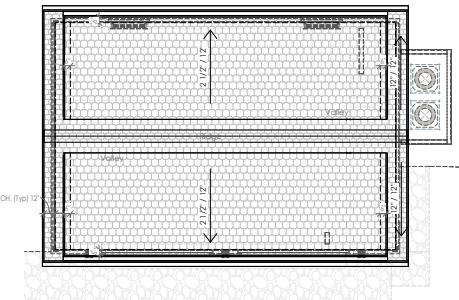
1 First Floor Plan
Scale: 1/4" = 1'-0"



3 Second Floor Plan
Scale: 1/4" = 1'-0"



4 Second Floor Plan
Scale: 1/16" = 1'-0"



5 Roof Plan
Scale: 1/4" = 1'-0"

Building Areas	
Description	SF
SF Heated Fast Floor	0
SF Heated Loft	477
SF Total Heated	477
SF Ground - Garage Floor	650
SF Total Unheated	650
SF Total Under Roof	1027

These areas are in progress, most of them are 180 and must be verified before final submitted to ARS and Construction.

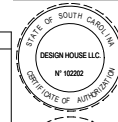
Legend	
Existing Area	
New Area Heated	
New Area Patch	

General Roof notes:

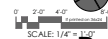
- Complete roof system is to be installed by licensed roofing contractor in compliance with the manufacturer's written instructions and requirements.
- Provide min. 3/4" ice & water shield at all eaves, ridges and valleys.
- All roof flashing, as well as piping and curbs necessary for mechanical penetrations shall be provided and installed by the roofing contractor.
- Gutters & downspouts are to be prefinished aluminum, located and sized by gutter contractor. Color to be as selected by owner.
- All roof leaders are to be tied into a piped subsurface drainage system.
- Mechanical contractor shall provide a mechanical attic ventilation system in compliance with the current edition of the current residential code.
- All penetrations to be located at rear or side of the house as unnoticeable as possible.
- All penetration to be painted to match wall/roof color.
- All penetrations to be kept at minimum and combined if possible.
- (2) Layers of underlayment req. When pitch is 3:12.
- Ridge/raft vent calculated by others.
- All roof overhangs are 2' unless otherwise noted.
- All dormer overhangs are 1' and the side overhangs are 6" O.C.K.



Architecture
Planning & Drafting Studio
Florida, March 22, 2025
602.319.3643
www.DesignHousePlanning.com



In Progress Not For Construction
 Dixon Garage Addition
 All Dimensions in Feet
 Georgia, 30124
 Robert & Jennifer Dixon
 400 Air Way Dr
 Marietta, GA 30067

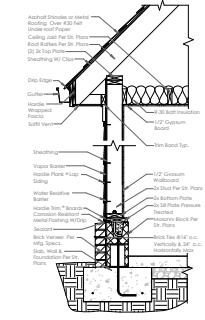


SCALE: 1/4" = 1'-0"

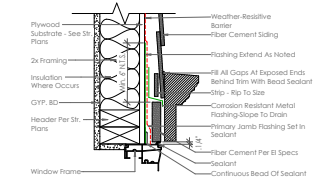
Floor Plans

Note: Contact and verify with Design House any plan, dimension, or other discrepancies. It is crucial to verify all window, door, frame, casework, and design selections (including materials and colors) for windows and doors) directly with the manufacturer before any plan installation or material orders. To avoid any delays, confirm all dimensions and details with the manufacturer. A representative of the manufacturer should be present during the construction process. All dimensions are in feet and inches unless otherwise specified.

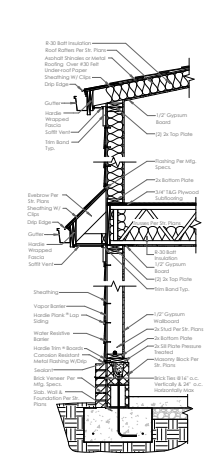
3/20/2025 8:46:37 AM



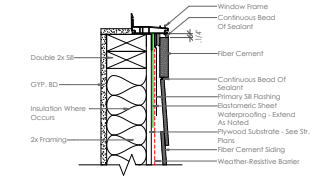
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 Scale: 3/4" = 1'-0"



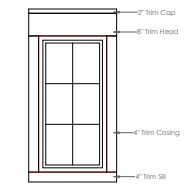
3 Det - Window Head
 Scale: 3" = 1'-0"



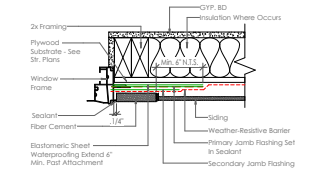
2 Sec - Wall Typ. 2
 Scale: 3/4" = 1'-0"



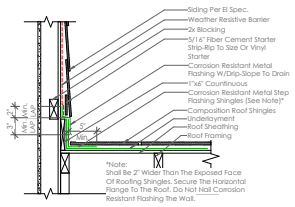
4 Det - Window Sill
 Scale: 3" = 1'-0"



6 Det - Opening Trim Typ.
 Scale: 3/4" = 1'-0"



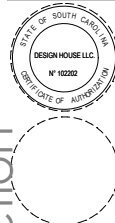
5 Det - Window Jamb
 Scale: 3" = 1'-0"



7 Det - Flashing Rake To Wall
 Scale: 1 1/2" = 1'-0"



In Progress Not For Construction
 Dixon Garage Addition
 Georgetown, SC 29140



These drawings are to be used only in conjunction with the contract documents and specifications. No part of these drawings shall be used for any other project without the written consent of the architect.

Robert L. Hunter, P.E.
 PE
 1000 North Main Street
 Columbia, SC 29201

2023-06-17
 05:23:33 PM
 2023-06-17
 05:23:33 PM
 2023-06-17
 05:23:33 PM
 2023-06-17
 05:23:33 PM
 2023-06-17
 05:23:33 PM

Section & Details

MAYOR
JAY DOYLE

CITY ADMINISTRATOR
SCOTT WHITTIER

CITY CLERK
STEPHANIE BUCCIONE



COUNCIL MEMBERS
MAYOR PRO TEMPORE
JESSIE WALKER

BRUCE CARL
ERIN ETHRIDGE
TAMIKA WILLIAMS-OBENG
SHARON MELTON
HOBSON HENRY MILTON

Planning and Community Development
(843) 545-4010

CITY OF GEORGETOWN ARCHITECTURAL REVIEW BOARD

MEETING DATE: July 6, 2026

AGENDA ITEM: ARB-2026-0018 – Request: Mechanical System. 914 Prince St. TMS# 05-0027-267-00-00.
Request to install a generator on a concrete pad at the rear of the house.

PROPERTY INFORMATION:

Address:	914 Prince Street
Applicant/Property Owner:	Lynn & Kim Robb
Zoning District:	High Density Residential (R4) <i>(Reference item 1)</i>
Overlay District:	Historic Buildings Overlay District (HD) <i>(Reference item 1)</i>
2040 Comprehensive Plan – FLUM:	Historic District Residential <i>(Reference item 2)</i>
Flood Zone:	X500 <i>(Reference item 3)</i>
Use of the Property:	Single-family residential dwelling
Contribution to Historic District:	No <i>(See attached)</i>

APPLICABLE GUIDELINES:

All applicable guidelines can be found in the City of Georgetown Unified Development Ordinance Article XX: Historic Buildings District on the City of Georgetown website.

2011.8 Mechanical Systems

2011.801 Policy and Justification

Mechanical systems such as window air conditioners and exterior HVAC system components should be placed at rear elevations or non-readily visible side elevations. Mechanical systems should not be installed on primary or readily visible side elevations unless they are effectively screened by landscaping or fencing.

2011.802 Standards

- (1) Mechanical systems should be located on rear or non-readily visible side elevations.
- (2) The installation of mechanical systems on primary facades or readily visible side façades is not appropriate but may be considered if the systems are effectively screened through landscaping, fencing, or lattice panels.
- (3) The addition of air conditioning units in window openings should only be in windows on rear or non-readily visible side elevations. This installation should not result in the loss of the original window and be reversible if the unit is removed at a later date.

(4) Mechanical units and electrical and gas meters should be as unobtrusive as possible and screened if in a visible location.

(5) Roof-mounted equipment should not be placed on front or corner side yard-facing roof planes and should be set back from the edges of roofs and screened, so that it is not visible to pedestrians and does not detract from the historic character of the dwelling.

OPTIONS:

1. Approve request as submitted by applicant.
2. Approve application with conditions imposed by the Architectural Review Board.
3. Deny request.
4. Defer request for more information. The time limit of deferral must be mutually agreed upon between the board and the applicant.

If approved, building permit application, a copy of the COA, and applicable fees are required to be submitted to the Planning & Community Development Department prior to commencement of any work.

REFERENCE MATERIALS

REFERENCE ITEM 1: City of Georgetown Zoning Map *Please note the new Historic District Survey layer indicators. Orange indicates a Non-Contributing status, Blue indicates a Contributing status, black indicates no survey.*



Parcel View



Block View

REFERENCE ITEM 2: City of Georgetown Future Land Use Map *Approximate position of property in question indicated by dot.*



REFERENCE ITEM 3: FEMA Flood Map

914 Prince St, Georgetown, SC 29440


Edit Share public profile

Overview Activity Records Files

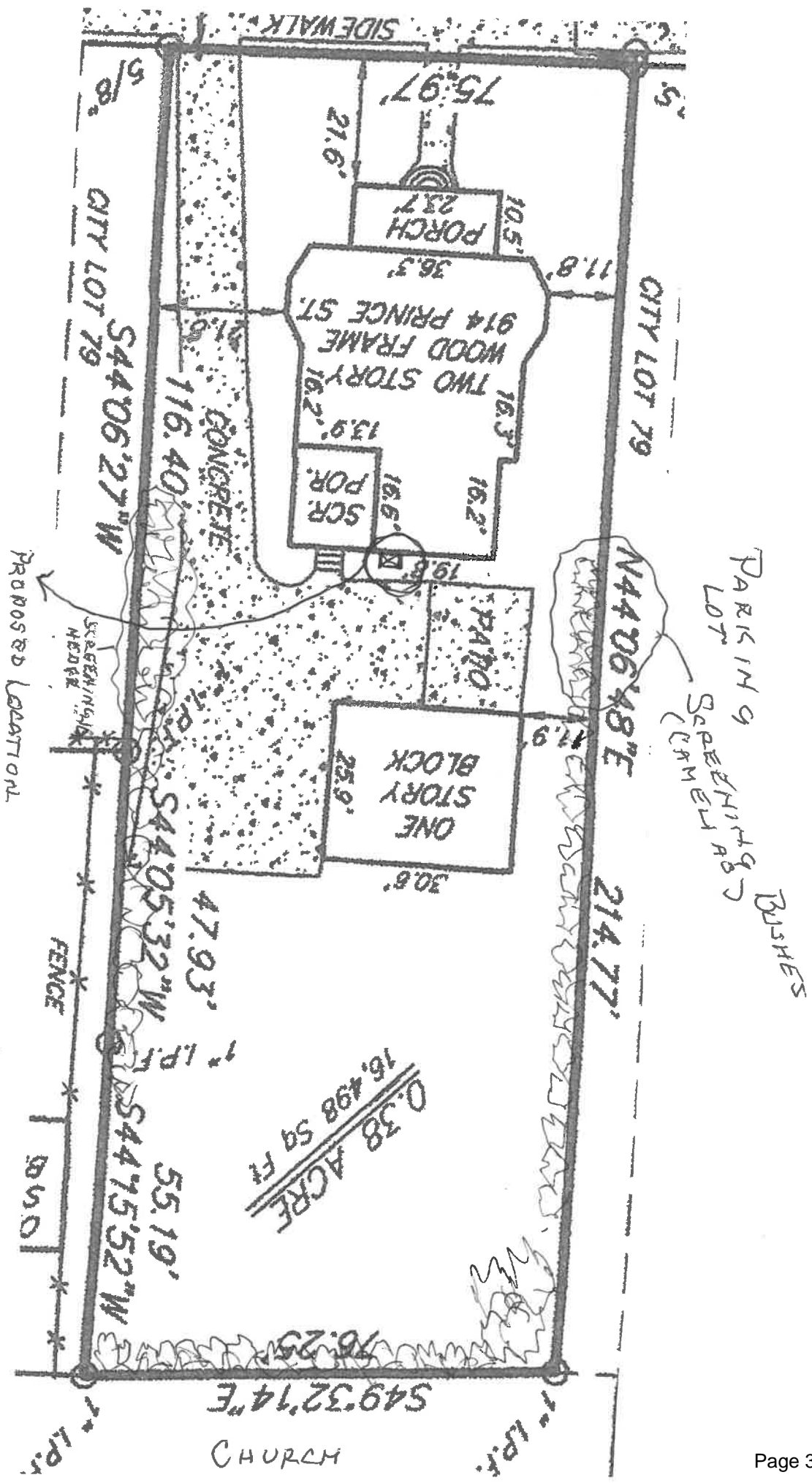
No warnings

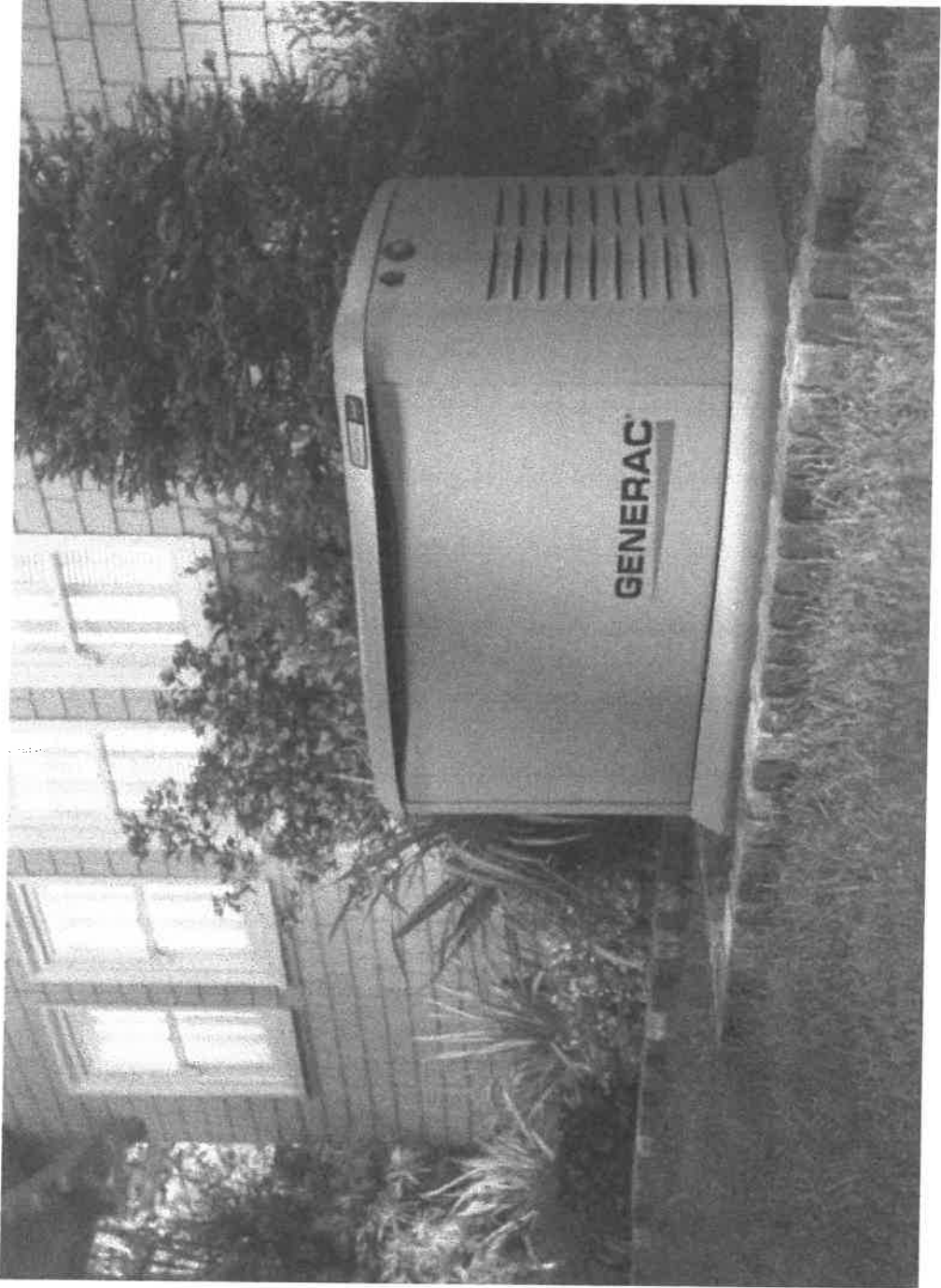
Flood info Effective FIRM

Flood zone	X500
Supplemental Coastal A	No
In Floodway	No
In CBRS	No
In OPA	No
Base Flood Elevation	Add
Design Flood Elevation	Add
Datum	NAVD88

Description of Request:	
INSTALLATION OF 26KW GENERAC GENERATOR BY SWIFT SERVICES, INC. ON CONCRETE PAD AT REAR OF HOUSE	
List of materials to be used:	
26 KW GENERAC GENERATOR CONCRETE PAD	
In addition to this application, the following supporting materials have been submitted.	
1. SURVEY WITH PROPOSED LOCATION SHOWN 2. PICTURE OF GENERATOR	
I certify that all the information included within this application is accurate and true:	
Signature:	Date:
	6-5-26

FOR OFFICE USE ONLY	
Appeal Number:	Applicable fee:
ARB 2026-0018	\$200.00
Date Received:	Meeting Date:
6/5/26	
Code Compliance	
Building Code:	
Flood Code:	
Zoning Code:	R4 + HD
Notes:	





Georgetown County, SC

Summary

Parcel Number 05-0027-267-00-00
 Account # 22617
 Property Address 914 PRINCE ST
 Legal Description PT 79 GEORGETOWN; PLT 2846-218
 (Note: Not to be used on legal documents.)
 Acres/Lot 1.000
 Property Usage Improved Residential Lot (Q100)
 Mobile Home Decal #
 Tax District Dist 5
 Neighborhood HISTORIC DISTRIC GEORGETOWN 05



Owners

ROBB LYNN E
 914 PRINCE ST
 GEORGETOWN SC 29440

ROBB KIM A
 914 PRINCE ST
 GEORGETOWN SC 29440

Valuation

	2025	2024	2023	2022	2021
+ Building Value	\$683,500	\$351,900	\$351,900	\$351,900	\$351,900
+ Land Value	\$130,000	\$100,000	\$100,000	\$100,000	\$100,000
+ Misc Value	\$3,400	\$3,400	\$3,400	\$3,400	\$3,400
= Total Market Value	\$816,900	\$455,300	\$455,300	\$455,300	\$455,300
+ Ag Credit	\$0	\$0	\$0	\$0	\$0
= Total Taxable Value	\$816,900	\$455,300	\$455,300	\$455,300	\$455,300
Capped Taxable Value	*\$523,595	*\$455,300	*\$455,300	*\$455,300	*\$455,300
Total Assessment	\$20,944	\$18,220	\$18,220	\$18,220	\$18,212

*This parcel is subject to the value cap

To see the tax information for this property click here <http://www.georgetowncountysctax.com>

Land

Land Use	Number of Units	Unit Type	Land Type	Frontage	Depth
Res ImpQ (Q100)	1.00	LOT	SITE	0	0

Buildings

Building Type	HISTORICAL RESIDENCE / HISTORICAL	Roof Type	GABLE
Year Built	1901	Roof Coverage	COMP SHINGLE
Finished Area	3430	Exterior Walls	SIDING
Total Area	4274	Fireplaces	5
Num of Bedrooms	4	Full Bathrooms	3
Foundation	PIER WITH CURTAIN WALL	Half Bathrooms	1

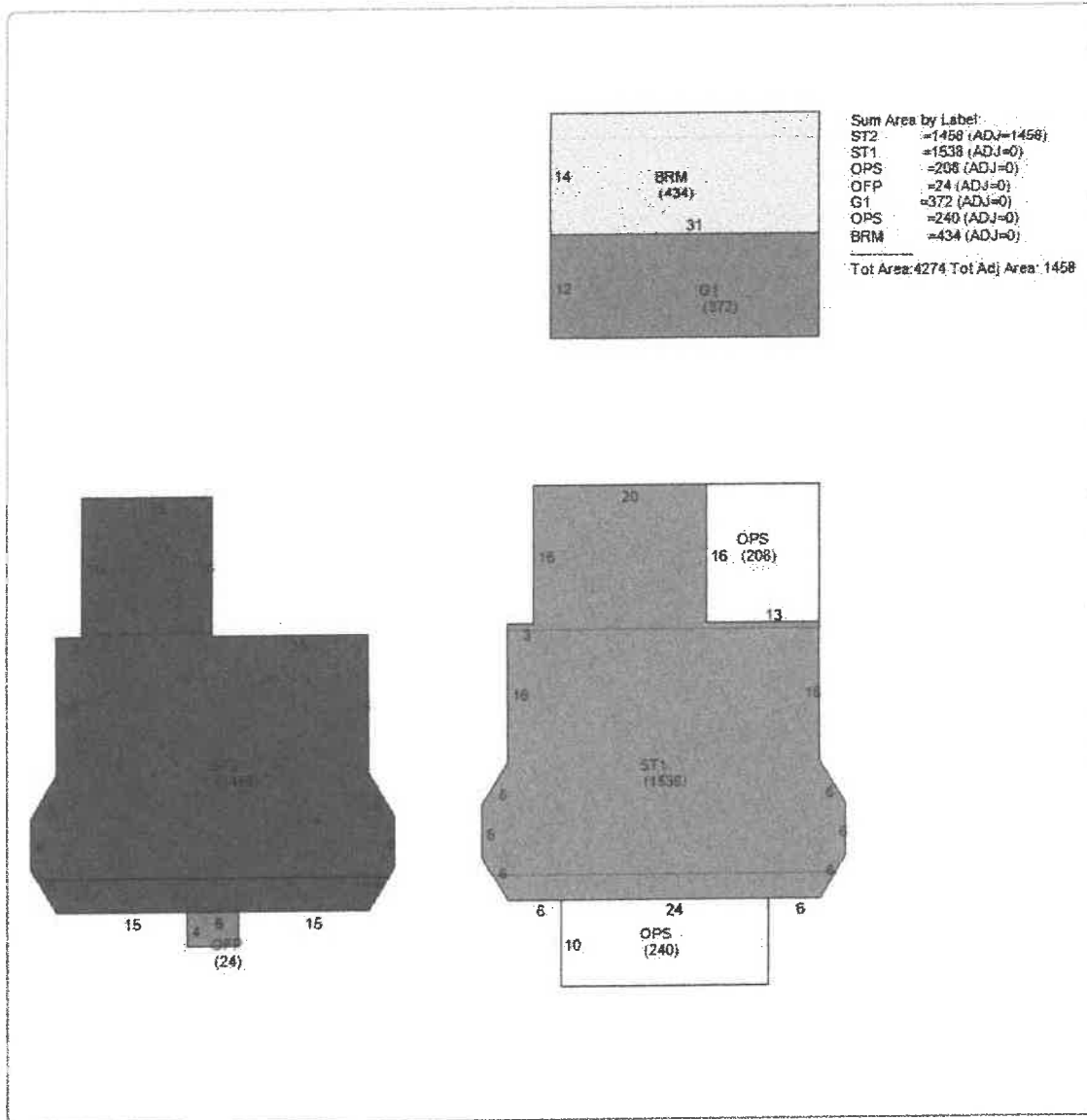
Yard Items

Description	Year Built	Out Building Type	Size	Quantity	Units	Grade
PATIO	0	Patio	0 x 0	1	1 SF	AVERAGE
DWY	1901	Concrete	0 x 0	1	1 SF	AVERAGE
FENCE-4	0	Iron Fence	0 x 0	1	1 SF	AVERAGE

Sales

Sale Date	Sale Price	Instrument	Deed Book	Deed Page	Vacant or Improved	Grantor	Grantee
7/13/2016	\$465,000	Warranty	2840	74	Improved	TUCKER VANN W & LAURA	ROBB LYNN E
6/3/2004	\$330,000	Warranty	1520	238	Improved	DETRE ARRON	TUCKER VANN W &
12/31/1998	\$5		936	306	Improved		
9/1/1998	\$170,000		901	342	Improved		
3/15/1973	\$10,000		111	412	Improved		

Sketches



Photos



No data available for the following modules: Commercial Buildings, Mobile Home Buildings.

and period of the dwelling to which they are added. Lighting to accent sidewalks or front yards is appropriate.

2011.702 Standards

- (1) Replace original light fixtures with new fixtures which complement the style of the dwelling or are simple in design.
- (2) Light fixtures original to a dwelling should be preserved and maintained or repaired with materials to match as closely as possible.
- (3) Light fixtures introduced to the exterior of a dwelling should be appropriate for the style and era of the house for dwellings built in the 18th and 19th centuries, light fixtures based on Colonial-era lamps are appropriate. Light fixtures should be added only at traditional locations such as at porch ceilings and flanking entrances.
- (4) Light fixture installed for security, such as flood lights, should be mounted on rear or sides of buildings rather than on the front. Floodlights mounted in yards to illuminate the front of the house are discouraged but acceptable.
- (5) Light fixtures for sidewalks and front yards should be of small footlights or post-mounted fixtures compatible with the primary structure.

2011.8 Mechanical Systems

2011.801 Policy and Justification

Mechanical systems such as window air conditioners and exterior HVAC system components should be placed at rear elevations or non-readily visible side elevations. Mechanical systems should not be installed on primary or readily visible side elevations unless they are effectively screened by landscaping or fencing.

2011.802 Standards

- (1) Mechanical systems should be located on rear or non-readily visible side elevations.
- (2) The installation of mechanical systems on primary facades or readily visible side façades is not appropriate but may be considered if the systems are effectively screened through landscaping, fencing, or lattice panels.
- (3) The addition of air conditioning units in window openings should only be in windows on rear or non-readily visible side elevations. This installation should not result in the loss of the original window and be reversible if the unit is removed at a later date.
- (4) Mechanical units and electrical and gas meters should be as unobtrusive as possible and screened if in a visible location.
- (5) Roof-mounted equipment should not be placed on front or corner side yard-facing roof planes and should be set back from the edges of roofs and screened, so that it is not visible to pedestrians and does not detract from the historic character of the dwelling.

2011.9 Paint and Paint Colors

2011.901 Policy and Justification

Paint colors do not require review or approval by the City staff or ARB. However, owners are encouraged to conduct paint analysis on their dwellings and match those colors or follow color palettes appropriate to the dwelling's period and style. Masonry surfaces which have not been previously painted should not be painted unless the brick and/or mortar is mismatched. Spray on

Statewide Survey of Historic Properties
State Historic Preservation Office
South Carolina Department of Archives and History
8301 Parklane Rd.
Columbia, SC 29223-4905 (803) 896-6100

Control Number: U / 43 / 191-0303
Status County No Site No
Quad Name: Georgetown South
Tax Map No.: 05-0027-267-00-00

Intensive Documentation Form

Identification

Historic Name: Oliver House
Common Name:
Address/Location: 914 Prince Street
City: Georgetown County: Georgetown
Vicinity of:
Ownership: Private Category: building
Historical Use: Domestic
Current Use: Domestic

National Register of Historic Places Information

SHPO National Register Determination: Not Eligible
Notes on National Register Status: This resource lacks integrity of design, material, and workmanship and does not contribute to the Georgetown National Register Historic District.

Other Designation:

Property Description

Construction Date: 1901 Commercial Form: Stories: 2 stories
Alteration Date: 1975 Historic Core Shape: T
Roof Features *Porch Features*
Shape: cross gable Porch Width: over 1 bay but less than full
Materials: composition shingle Shape: gable
Construction Method: frame
Exterior Walls: synthetic siding
Foundation: brick
Significant Architectural Features: Colonial Revival: 2/2 sash with projecting lintels, two single-leaf doors with transoms, second-story entry with turned balustrade balcony, 2-story canted bays at each side elevation.

Alterations: 1975: porch deck lowered, full-height Ionic columns added, chimneys removed, siding.

Architect(s)/Builder(s):

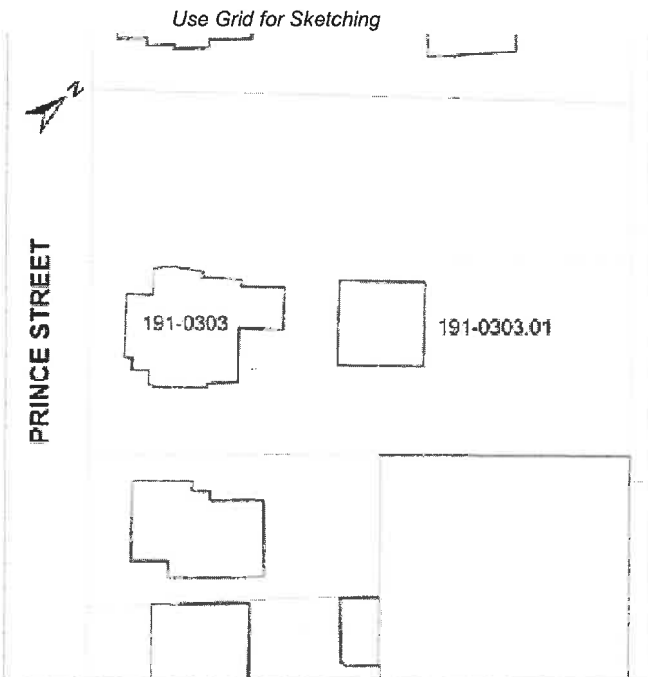
Historical Information

Historical Information: Known as the Oliver House or Scurry House in the mid-20th century, it was thought to have been built by an executive with the Atlantic Coast Lumber Company and replaced an earlier house on the lot.

Source of Information: Georgetown Times: 8/7/1975. Sanborn Maps: 1888-1899.

Photographs

Roll No.	Neg. No.	View of
		Façade and Side Elevations, Looking E
		Façade and Side Elevations, Looking N
		Rear and Side Elevations, Looking SE



Program Management

Recorded by: Ellen Jenkins (TRC)

Date Recorded: 6/22/2010

191-0303: 914 Prince Street



Statewide Survey of Historic Properties
State Historic Preservation Office
South Carolina Department of Archives and History
8301 Parklane Rd.
Columbia, SC 29223-4905 (803) 896-6100

Control Number: U / 43 / 191-0303.01
Status County No Site No
Quad Name: Georgetown South
Tax Map No.: 05-0027-267-00-00

Intensive Documentation Form

Identification

Historic Name:

Common Name:

Address/Location: 914 Prince Street

City: Georgetown

County: Georgetown

Vicinity of:

Ownership: Private

Category: building

Historical Use: Domestic

Current Use: Domestic

National Register of Historic Places Information

SHPO National Register Determination: Not Eligible

Notes on National Register Status: This resource dates from after 1960 and is a non-contributing resource in the Georgetown Historic District.

Other Designation:

Property Description

Construction Date: c. 1975

Commercial Form:

Stories: 1 story

Alteration Date:

Historic Core Shape: rectangular

Roof Features

Shape: gable, end to front

Porch Features

Porch Width:

Materials: composition shingle

Shape:

Construction Method: frame

Exterior Walls: stucco

Foundation: not visible

Significant Architectural Features: 2-bay garage with the northern bay converted to living quarters.

Alterations:

Architect(s)/Builder(s):

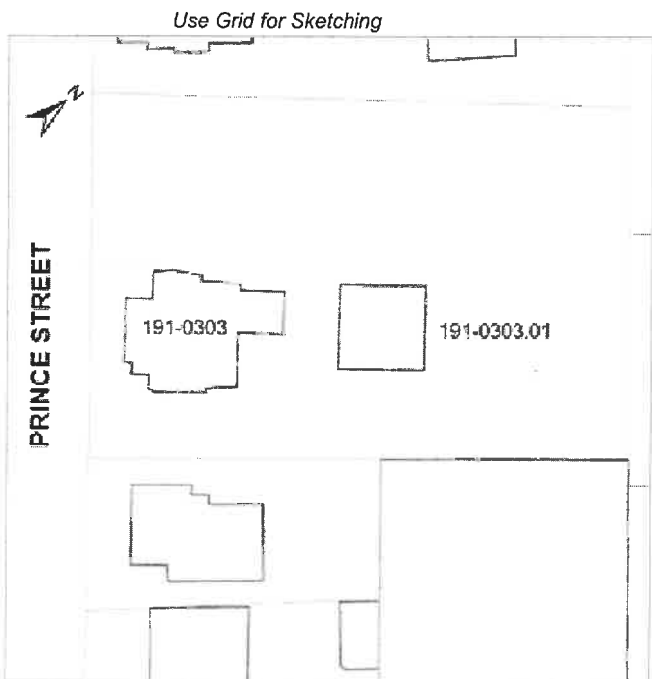
Historical Information

Historical Information:

Source of Information: Sanborn Map: 1942.

Photographs

Roll No. Neg. No. View of
Façade and Side Elevations, Looking N
Side and rear elevation, looking E



Program Management

Recorded by: Ellen Jenkins (TRC)

Date Recorded: 6/22/2010

191-0303.01: 9A Prince Street



MAYOR
JAY DOYLE

CITY ADMINISTRATOR
SCOTT WHITTIER

CITY CLERK
STEPHANIE BUCCIONE



COUNCIL MEMBERS
MAYOR PRO TEMPORE
JESSIE WALKER

BRUCE CARL
ERIN ETHRIDGE
TAMIKA WILLIAMS-OBENG
SHARON MELTON
HOBSON HENRY MILTON

Planning and Community Development
(843) 545-4010

CITY OF GEORGETOWN ARCHITECTURAL REVIEW BOARD

MEETING DATE: July 6, 2026

AGENDA ITEM: ARB-2026-0019 – Request: Construction of a new building addition and alteration of the existing carport. 222 Screven Street. TMS# 05-0030-160-00-00. Request to construct an addition to the existing home, to include a master suite, attached garage, and gallery area. The existing carport, either in whole or in part, may need to be demolished; however, it is the intent of the applicant to enclose the existing carport to create the master suite.

PROPERTY INFORMATION:

Address:	222 Screven Street
Applicant:	John Marshall Williams
Property Owner:	Cannon & Marguerite Barr
Zoning District:	High Density Residential (R4) <i>(Reference item 1)</i>
Overlay District:	Historic Buildings Overlay District (HD) <i>(Reference item 1)</i>
2040 Comprehensive Plan – FLUM:	Historic District Residential <i>(Reference item 2)</i>
Flood Zone:	AE10 <i>(Reference item 3)</i>
Use of the Property:	Single-family residential dwelling
Contribution to Historic District:	Yes <i>(See attached)</i>

APPLICABLE HD GUIDELINES:

All applicable guidelines can be found in the City of Georgetown Unified Development Ordinance Article XX: Historic Buildings District on the City of Georgetown website.

2010 Standards for Residential Properties - Materials

2010.1 Overview

2010.101 Policy and Justification

Character defining exterior materials should be preserved and maintained, repaired as needed, and replaced with appropriate materials only if repair is not possible. Materials such as masonry, wood siding, concrete, stucco, stone, and metal all contribute to the historic and architectural character of a building. If historic architectural materials are damaged, replacement should be as limited as possible, retaining as much of the historic fabric as possible. In-kind materials should be used when replacement is necessary.

2010.102 Standards

(1) If material replacement in-kind is not feasible or practical, the ARB may consider the use of appropriate alternative materials that match the original as closely as possible in texture, design, and overall appearance.

- (2) Replace architectural materials which match the original as closely as possible in form, scale, and design.
- (3) Do not remove or alter original architectural materials from the building.
- (4) Do not add non-historic materials to a building. Added materials to a property must be accurately based on physical, pictorial, or historical evidence in scale, location, proportions, form, and detailing.
- (5) Do not cover or conceal original materials with synthetic materials such as vinyl, aluminum, exterior insulation finishing systems (EIFS), or similar materials.
- (6) The use of epoxies for wood repair and special masonry repair components may be appropriate.

2010.2 Brickwork and Masonry

2010.201 Policy and Justification

The key to historic brick preservation is to keep out water and continue to use a soft mortar when repair is needed. Abrasive cleaning such as sandblasting erodes the skin of the brick and will not be approved. The use of hard mortars like Portland cement can cause the brick to crack and break when it can't expand and contract with the hot and cold weather. Low pressure water cleaning and the use of soft mortar mixes are best for Georgetown's brick buildings. Do not paint masonry which was previously unpainted.

2010.202 Standards

- (1) Repair and repoint masonry walls and features using the historic brick and an appropriate mortar mix. If the original composition can't be determined, use an approvable historic compound such as one part lime and two parts sand.
- (2) Clean masonry walls or features with detergent cleaners and using water pressure not exceeding 600 pounds per square inch.
- (3) Remove paint from masonry walls and features with appropriate chemical agents and professional contractors. A test patch should be conducted first to ensure that no etching or staining of the brick will occur.
- (4) No abrasive cleaning such as sandblasting will be permitted in the historic district.
- (5) Do not cover masonry with silicone-based water sealants. Water sealants can have the affect of trapping water on the interior of the building and not allow the brick to expand and contract properly.
- (6) Masonry that has never been painted should not be painted unless the brick and mortar is extremely mismatched from earlier repairs or patching. Painting previously sandblasted brick or brick in poor condition to provide a sealing coat may be considered.
- (7) Do not apply stucco to brickwork unless stucco was a historic application that has become deteriorated.
- (8) For masonry needing repair, hand tools are recommended over electric power saws.
- (9) Missing bricks should be replaced with bricks to match as closely as possible. Salvage companies may have molded or decorative bricks to match those missing on a dwelling.

2010.4 Siding

2010.401 Policy and Justification

Original wood siding materials should be preserved and maintained. Removal and replacement of original wood siding materials will not be approved unless it can be demonstrated that the siding is beyond repair. If replacement is required, it should be with materials to match the original as closely as possible. For contributing buildings, alternative materials may be considered for nonvisible elevations. For non-contributing buildings,

alternative materials may be considered for all elevations. The concealment of original wood siding materials with vinyl, aluminum, or other synthetic sidings is not approvable. These materials do not successfully imitate the appearance of historic original wood siding. Synthetic materials also are not “breathable” and may cause condensation and damage to the original siding beneath. Asbestos shingle siding is not hazardous as long as it is kept painted and encapsulated. If an owner is concerned about the potential hazard of the asbestos shingles they may be removed and replaced with appropriate alternative materials which match the original shingles as closely as possible.

2010.402 Standards

- (1) Repair historic wood siding and wood elements with in-kind materials.
- (2) Replace historic wood siding and wood elements with in-kind materials.
- (3) Repair or replace non-historic siding materials with similar or compatible materials.
- (4) Wood siding and wood details original to a dwelling should be repaired rather than replaced. Original wood siding should be replaced only if it can be demonstrated that the siding is beyond repair.
- (5) Replacement of original wood siding with alternative materials may be considered if consistent with the ARB’s overall approach to alternative materials outlined in Section 2009.
- (6) Wood shingles should be repaired rather than replaced. If replacement is necessary due to deterioration, the new shingles should be in-kind and should match original in material, appearance, visual texture and profile.
- (7) Wood siding, shingles, and other exterior wood materials shall not be concealed beneath artificial or synthetic sidings. The application of materials such as vinyl or aluminum over original wood siding is not approvable.
- (8) Wood siding should be maintained through regular painting, but when paint removal becomes necessary, it should be done by scraping, heat (heat guns and plates), or chemical methods, never through sandblasting or other abrasive methods. The use of circular grinders or sanders should not be used to remove paint.
- (9) Asbestos shingles which are original to a dwelling should be kept stained or painted. If individual shingles are missing or cracked, matching new shingles of cementitious material or fiberglass are appropriate for replacement or repair.
- (10) Asbestos shingles which conceal the original wood siding exterior may be removed and the original wood siding restored. Removal will require qualified professionals with disposal meeting hazardous material requirements.

2011 Standards for Residential Properties – Details

2011.1 Architectural Features

2011.101 Policy and Justification

Character defining features and details should be preserved and maintained, repaired as needed, and replaced with appropriate materials only if repair is not possible. Ornamentation such as eave brackets, dentils, cornices, moldings, trim work, and shingles all contribute to the historic and architectural character of a building. If historic architectural features are damaged, replacement should be as limited as possible, retaining as much of the historic fabric as possible. In-kind materials should be used when replacement is necessary.

2011.102 Standards

- (1) Repair in-kind architectural features with materials, form, scale, and design which match the original.

- (2) Replace architectural features which match the original as closely as possible in materials, form, scale, and design.
- (3) Do not remove or alter original architectural features or ornamentation from the dwelling.
- (4) Do not add inauthentic details to the dwelling. Added architectural features to a property must be accurately based on physical, pictorial, or historical evidence in materials, scale, location, proportions, form, and detailing.
- (5) Do not cover or conceal architectural features with synthetic materials such as vinyl, aluminum, exterior insulation finishing systems (EIFS), or similar materials.
- (6) Alternative materials may be considered if deterioration is ongoing due to flawed architectural design or for non-contributing structures.

2011.4 Doors and Entrances

2011.401 Policy and Justification

Preserve historic façade entrance elements including original doors, surrounds, sidelights, and transoms whenever possible. If historic doors or entrance components are damaged, replacement should be as limited as possible. Use in-kind materials when replacement is necessary. The addition of wood screen doors is appropriate as long as the framing is minimal and the historic door can be viewed behind it. Retaining original entrances and their decorative elements is an important part of preserving a dwelling's character.

The installation of security doors on primary facades may be appropriate if they have minimal framework, are of full-view design and allow the visibility of the historic door behind it. Security doors which have extensive frame or grill work should only be added to entrances at rear or non-readily visible side elevations. Storm doors are also appropriate for front facades if they are full-view design and allow the visibility of the historic door behind it. Storm doors should be of baked-enamel aluminum or wood and in a color that blends with the door frame and is as unobtrusive as possible

2011.402 Standards

- (1) Repair original doors and entrance elements with materials which match the existing.
- (2) Where repair is not possible, replace with a new door or entrance elements in-kind with similar materials, profile, and dimensions.
- (3) Do not remove or alter historic entrances, their doors, surrounds, sidelights, transoms, or detailing. Repair and reuse original hardware as long as possible.
- (4) Do not replace existing door trim or surrounds with trim that represents a different house style or design.
- (5) Where original doors have been removed, replace them with an appropriately styled door for the dwelling. The new door should be based on doors of similar age and architectural style in the district. If the original design is unknown, a secondary entrance may contain an original door that can be moved to the main entrance. Salvage companies may also have historic doors available.
- (6) The addition of a new entrance to meet life and safety codes should be sited at rear or side elevations that are not readily visible.

- (7) Entrances on primary facades may have added screen doors of appropriate design. Screen doors should be appropriate to the style of the house.
- (8) The design of added screen doors should have minimal framing (i.e., full-view or two panel) to allow the viewing of the original door behind it.
- (9) Repair security or storm doors with materials that match the existing.
- (10) Install a storm door on the primary façade entrance only if full-view design, of baked enamel aluminum or wood, and in a color compatible with the door frame and dwelling.
- (11) The use of anodized aluminum for security and storm doors is not appropriate for primary entrances on main façades but may be added at rear or side elevations not readily visible.
- (12) Replace or install a security door on a rear entrance or side entrance not readily visible.

2011.5 Foundations

2011.501 Policy and Justification

The pattern, materials, and dimensions of original foundations contribute to the historic character of a building and help convey the style and period of the building. Proper maintenance is key to preservation, and repair should occur promptly when deterioration is observed. In cases where materials are beyond repair, replace them with material matching the original. Original foundations should not be concealed beneath added materials.

2011.502 Standards

- (1) Repair masonry foundations with materials to match the original.
- (2) Replace masonry features with materials to match the original as closely as possible.
- (3) Repaint previously painted masonry foundations.
- (4) Repoint masonry with an appropriate mortar mix which closely resembles the original mortar composition.
- (5) Repair frame lattice panels between brick piers and replace lattice panels in keeping with traditional designs.
- (6) Foundations of brick piers should be left open or be filled in with traditional materials, such as wood lattice framed panels or brick lattice panels. Frame lattice panels should be set back from the fronts of the piers by at least 2 inches. If brick lattice panels are used, the brick should be similar in color, texture and mortar joint profile as the original brick piers. Where wood lattice panels contact dirt at base, synthetic lattice materials may be considered.
- (7) Do not conceal or enclose foundations with concrete block, plywood panels, corrugated metal, or wood shingles.
- (8) Foundations should not be painted or stuccoed, but these treatments may be considered if the brick and/or mortar is mismatched or inappropriately repaired.

2011.6 Gutters and Downspouts

2011.601 Policy and Justification

Gutters and downspouts are essential to protecting a home from the effects of rain and water. They collect and move water away from the building's foundation. While their presence is functional, they can have aesthetic value through material or color, such as copper installations that take on a green patina over time or examples intentionally matched to trim color of the dwelling. Original boxed gutters on a property should be preserved and maintained. Existing gutters should be regularly cleaned and maintained. If new gutters are

required, half-round designs are the most historically accurate. If not readily available, “K” or ogee design gutters of aluminum will also be considered.

2011.602 Standards

- (1) Repair existing gutters and downspouts.
- (2) Replace existing gutters and downspouts or install new gutters and downspouts. These replacements or additions should be installed with minimal hardware and damage to historic fabric.
- (3) Box gutters original to a dwelling should be preserved and repaired as needed with new materials to match as closely as possible.
- (4) Downspouts should be located on dwellings at unobtrusive locations and concealed where possible behind porch columns and building corners.
- (5) Gutters and downspouts should be of colors that blend with the dwelling’s main body or trim colors.
- (6) The use of conductor heads, where appropriate, is encouraged.

2011.7 Lighting

2011.701 Policy and Justification

Light fixtures which are original to a 20th century dwelling should be preserved and maintained or repaired as needed. If repair is no longer possible, replacement with a new fixture in keeping with the dwelling’s style is appropriate. New light fixtures should be appropriate for the style and period of the dwelling to which they are added. Lighting to accent sidewalks or front yards is appropriate.

2011.702 Standards

- (1) Replace original light fixtures with new fixtures which complement the style of the dwelling or are simple in design.
- (2) Light fixtures original to a dwelling should be preserved and maintained or repaired with materials to match as closely as possible.
- (3) Light fixtures introduced to the exterior of a dwelling should be appropriate for the style and era of the house for dwellings built in the 18th and 19th centuries, light fixtures based on Colonial-era lamps are appropriate. Light fixtures should be added only at traditional locations such as at porch ceilings and flanking entrances.
- (4) Light fixture installed for security, such as flood lights, should be mounted on rear or sides of buildings rather than on the front. Floodlights mounted in yards to illuminate the front of the house are discouraged but acceptable.
- (5) Light fixtures for sidewalks and front yards should be of small footlights or post-mounted fixtures compatible with the primary structure.

2011.9 Paint and Paint Colors

2011.901 Policy and Justification

Paint colors do not require review or approval by the City staff or ARB. However, owners are encouraged to conduct paint analysis on their dwellings and match those colors or follow color palettes appropriate to the dwelling’s period and style. Masonry surfaces which have not been previously painted should not be painted unless the brick and/or mortar is mismatched. Spray on siding coatings should be avoided since the permeability of these products, and their longevity has yet to be demonstrated.

2011.902 Standards

- (1) colors and the paint application process are not reviewed by the ARB. However, owners are encouraged to use paint colors in keeping with their dwelling's style and age.
- (2) Painting of previously unpainted masonry surfaces is not appropriate but may be considered if the masonry and/or mortar has become mismatched or discolored.
- (3) The use of spray-on siding coatings is discouraged in the historic district. These products have not been demonstrated to have sufficient permeability to allow a building to "breathe" and their life expectancy is unknown.
- (4) Traditionally, most historic dwellings had no more than four colors—wall, trim, and various accents—and this approach to exterior paint colors is encouraged.

2011.10 Porches, Columns, and Railings

2011.1001 Policy and Justification

Original porches should be repaired, preserved and maintained. Those on the primary façades of dwellings should not be enclosed with wood or glass panels. The screening of porches on the fronts of dwellings is appropriate if the framing is kept to a minimum. If repair of porch elements is required, use materials to closely match those which exist. If porch elements such as columns, balusters, or floorboards are deteriorated and need replacement, alternative materials may be considered. If an original porch is missing, a new porch may be constructed based upon photographic or physical evidence or based upon the design of similar style and age dwellings. In some cases, dwellings had their original porches removed and replaced with Craftsman/Bungalow style porches in the 1920s and 1930s. These porches reflect the historical evolution of property and may be significant in their own right.

2011.1002 Standards

- (1) Repair porch elements with materials to match the original.
- (2) Replace porch elements with materials to match the original.
- (3) Ceiling fans may be installed on porches.
- (4) Porches on front and side facades should be maintained in their original configuration and with original materials and detailing.
- (5) Porches should not be removed if original.
- (6) Porches on front and readily visible side elevations should not be enclosed with glass or wood panels. Those on rear or non-readily visible side facades may be enclosed with acceptable glass or wood panels as long as there is no removal of extensive historic fabric and the enclosure is reversible.
- (7) The enclosure of front porches and those on readily visible side elevations with screen panels may be appropriate if the framing is minimal and the viewing of the façade behind the screen panels is not significantly impaired.
- (8) Porches which have wood floors should have wood stairs repaired or replaced as needed, not brick or concrete. On rear or non-readily visible side elevations wood stairs are also recommended but brick or cast concrete steps may be added at these locations.
- (9) Porches on the fronts of dwellings may be partially enclosed with lattice panels compatible with the style of the house for privacy. This should not exceed more than one-third of the porch area in order to maintain its traditional open appearance. Lattice panels should be compatible with the style of the house and be added behind,

not in front, of porch columns and railings. Lattice panels in traditional square and diagonal designs are appropriate.

(10) The use of trellis panels is appropriate for porches on all elevations.

(11) Wood porch floors that are deteriorated should be replaced with wood tongue and groove flooring or boards running perpendicular to the façade. The use of alternative porch floor materials may be considered on rear elevations.

(12) Porches that are missing their original columns and balusters should be rebuilt based upon photographic or physical evidence. If no evidence exists, porches should be rebuilt in keeping with porches of similar house styles and age.

(13) Balusters (also called spindles) should be carefully sized for any replacement porch. Milled spindles measuring 3 feet high and 2 inches in diameter are best for Georgian, Federal, Queen Anne, and Folk Victorian dwellings. Balusters or spindles which are smaller than 2 inches in diameter are not appropriate for exterior porches. Square balusters which are 3 feet high and 2 inches to 3 inches in width and depth are best for Craftsman/Bungalow dwellings.

2011.11 Roofs

2011.1101 Policy and Justification

Original roof forms such as gable or hipped should be preserved and maintained. If additions to roofs are desired such as new dormers or skylights, these should be added at rear or side rooflines that are not readily visible. Historic roof materials such as metal standing seam and clay tile should be repaired and preserved. If repair is no longer practical, replacement with approved metal, asphalt or fiberglass roof materials is appropriate. When replacing metal roofing the pattern must match that of the existing roof. Alternative roofing materials may be considered. Any addition to a roof such as solar panels, ventilators, and skylights requires ARB review.

2011.1102 Standards

(1) Roofs should be preserved in their original size, shape, and pitch, with original features (such as cresting, chimneys, finials, cupolas, etc.), and, if possible, with original roof materials.

(2) New metal roofs should be in keeping with traditional standing seam designs and dimensions with proper spacing and crimping. Other profiles are not appropriate for contributing buildings and commercial metal roofing profiles are not appropriate for residential buildings.

(3) Roofs should not have new dormers introduced on front façades but may have dormers added on rear façades or secondary façades which are not readily visible and if in keeping with the character and scale of the structure.

(4) The use of reflective roof shingles may be considered if the shingles are not shiny and are in shades of brown and other medium-dark colors. Light gray and white roofs are not appropriate for the district.

(5) The installation of alternative materials instead of original roof materials may be considered.

(6) Most of Georgetown's 18th and 19th century dwellings had roof surfaces of wood shingles. If a property owner wishes to reinstall a new wood shingle roof, the design should be based on historic shingle dimensions and texture. Shingles should be laid in a horizontal row with the bottom edge either in alignment with the adjacent shingle or staggered to match the historic condition.

(7) Additions such as skylights, balconies, or roof ventilators should not be added to dwellings on front or readily visible side elevations.

(8) Skylights should be placed at rear roof lines or behind gables and dormers and not be readily visible. Skylights should be as minimal in design as possible—flat or flush is best, but convex and “bubble” designs that are low-profile may be considered.

(9) Solar panels on roofs should only be located on rear or side elevation rooflines which are not visible from the public right-of-way.

2011.12 Staircases and Steps

2011.1201 Policy and Justification

Because of their exposure to the elements most of the wood staircases built prior to 1900 have been rebuilt. In many cases the original wood steps have been replaced with steps of brick or concrete. Replacement of deteriorated wood steps with wood is preferable to replacement with brick, pre-cast concrete, or wrought iron.

2011.1202 Standards

(1) Replace non-historic wood, brick, or concrete staircases and steps with in-kind or compatible materials.

(2) Add staircases and steps on rear elevations and side elevations not readily visible.

(3) Staircases and steps original to a dwelling should be repaired and retained. Wood, brick, and concrete steps should be repaired with materials to match the original.

(4) The installation of brick staircases and steps to replace wood staircases and steps on primary elevations is discouraged but will be considered. The use of pre-cast concrete staircases and steps is not appropriate on contributing houses, or on primary elevations of non-contributing buildings and new dwellings.

(5) Where required by codes, new stairs should be designed with “graspable” handrails which are no larger than 1-1/2 inch in diameter. These handrails can be attached to existing wood staircases when required for codes.

2011.13 Windows and Shutters

2011.1301 Policy and Justification

Windows on historic dwellings should be maintained or repaired to match the original design. Approval to remove original wood sash or steel casement windows will only be granted if the windows can be demonstrated to be beyond repair. If windows are deteriorated beyond repair, the installation of new wood or steel windows to match the original designs is preferred. Alternative materials may be considered. Original window openings on primary facades or readily visible side elevations should not be covered or concealed. Original window openings should not be enclosed for the addition of smaller windows. New window openings should not be added on the fronts of dwellings but may be added at the rear or side elevations if not readily visible.

Window shutters have been traditional features on houses in Georgetown in both louvered and paneled wood designs and their continued use is encouraged. Historic wood shutters should be preserved and maintained. New shutters may be added if they are of wood, of traditional design and with dimensions which match the window opening. The installation of storm windows can help in lowering energy costs and are appropriate for Georgetown’s historic dwellings. Storm windows should be full-view design or have the central meeting rail at the same location as the historic window behind it. The installation of screen panels is also appropriate as long as they retain the open appearance and the visibility of the windows behind them. The installation of visible security bars on the exterior of windows is not appropriate on primary facades. Window bars may be added on the exterior of windows on rear or side elevations not readily visible.

2011.1302 Standards

- (1) Repair a historic or non-historic window with in-kind materials of similar design.
- (2) Original windows should be preserved in their original location, size, and design and with their original materials and numbers of panes.
- (3) Windows should be repaired rather than replaced. Window replacement will only be approved if it can be demonstrated that the historic windows are beyond repair.
- (4) If replacement of original or historic windows is demonstrated to be necessary, the replacement windows should be in-kind.
- (5) Windows of alternative materials may be considered.
- (6) New window openings should not be added to primary façades or to readily visible side elevations.
- (7) Windows of steel or other metal designs should be preserved and maintained or replaced with new metal windows which are similar in appearance and materials.
- (8) Replacement windows should not have snap-on, flush, or simulated divided muntin's. Muntin's sandwiched between layers of glass, snap-on muntin's, and surface-applied muntin's are not appropriate and shall not be approved.
- (9) Clear glass must be used in windows on the primary and readily visible side elevations. Do not use reflective, tinted, patterned, or frosted glass in windows. The addition of these glass materials may be used on rear elevations or those not readily visible.
- (10) If an interior dropped ceiling is lower than the top of the window, the ceiling must be stepped back from the window to not obscure the top of the window from outside view.
- (11) Shutters that are original to the dwelling should be preserved and maintained. If not possible, replace historic wood shutters with in-kind materials or similar design.
- (12) Add wood shutters based on traditional designs and that fit the window opening.
- (13) Add screen panels with wood or metal frames that are full-view design and allow the visibility of the historic window behind it.
- (14) Add storm windows of wood or metal frames which are full-view design or match the meeting rail of the window behind it. Storm windows should be of anodized or baked enamel surfaces and not unfinished metal.
- (15) Shutters should not be added to contributing buildings unless historically appropriate to that style house in Georgetown or there is physical or photographic evidence that shutters were original to the dwelling. Adding shutters to non-contributing and new buildings will be considered.
- (16) New shutters shall be of louvered or paneled wood construction or another documented historical style appropriate for that style of the building in Georgetown. They must be either working shutters or shutters that appear to be working shutters with appropriate hardware.
All shutters shall be appropriately sized to fit the window opening so that if working and closed, they would cover the window opening.
- (17) Shutters should not be added to banks of multiple windows.
- (18) The application of vinyl or metal shutters on primary elevations will not be approved. These types of shutters may be considered for rear and side elevations not readily visible.
- (19) Window screens should be framed in wood or baked-on enamel aluminum and fit within the window frames and not overlap the frames.
- (20) Security bars shall not be applied to any elevation of contributing buildings or to primary or other readily visible elevations of non-contributing

2012 Standards for Residential Properties – Setting

2012.1 Driveways and Parking Areas

2012.101 Policy and Justification

The consistency and repetition of driveway spacing, placement, dimensions, and materials are an important part of the residential area's streetscapes. Parking areas should only be on side and rear elevations of a dwelling and not in front yards. Traditional paving materials such as sand, brick, and concrete are encouraged over black asphalt and similar modern materials. The use of permeable paving materials for driveways and parking areas is encouraged to allow water absorption into the ground and reduce flooding.

2012.102 Standards

- (1) Preserve original driveway materials such as sand, tabby concrete, crushed gravel, or concrete. Original designs such as concrete "ribbon" driveways contribute to the character of a dwelling and should be preserved.
- (2) Driveway widths should be limited to a width of one car.
- (3) Driveways and parking areas in side and rear yards should be of gravel (white or pea gravel), brick, sand, tabby, grass, concrete, textured concrete, or concrete ribbons (narrow strips).
- (4) Screen and minimize the visual impact of parking areas in rear or side yards with hedges, shrubs, or fences.
- (5) New curb cuts to driveways and parking lots should be kept to a minimum, as they usually result in the removal of historic sidewalk materials, curbs, and retaining walls. Curb cuts require SCDOT or City of Georgetown approval, depending on right-of-way ownership.
- (6) Commercially used houses, churches, apartment buildings, or schools, driveways and parking areas should be located in rear yards, if possible, but, when necessary, in a side yard. Parking areas should be located no closer than the front wall of the building.
- (7) Screening of parking areas on vacant lots between buildings must align with front facades of adjacent buildings.
- (8) Sidewalks and driveways must be oriented perpendicular to the street. If historical documentation provides evidence of curvilinear designs or other shapes and designs on that site or other similar house styles, such shapes may be considered.
- (9) Maintain the continuity of existing driveways and the curb cut radius or curved approach in the districts when introducing new driveways.
- (10) Locate new driveways and sidewalks so that the topography of the dwelling site and significant landscape features, such as mature trees, are retained. Protect mature trees and other significant landscape features from direct construction damage or from delayed damage such as destruction of root area or soil compaction by construction equipment.

2012.2 Fences, Gates, and Walls

2012.201 Policy and Justification

Historic fence materials such as cast and wrought iron, brick, and woven wire should be preserved and maintained. The installation of new fences in keeping with traditional locations, designs and materials is appropriate for the historic district. Vinyl and similar synthetic fencing materials are incompatible and not approvable.

2012.202 Standards

- (1) Repair or replace fence or wall materials with in-kind materials.
- (2) Installation of new wood picket fences in front yards or privacy wood fences in side or rear yards is appropriate if they are in traditional and permitted dimensions and designs. Fences should have pickets no wider than 4 inches and should be set apart a maximum of 3 inches. Wire fences should not be more than 4 feet tall. Privacy fences constructed of wood board should be located in rear yards and generally be no taller than 6 feet. Higher fences may be considered subject to code limitations.
- (3) Preserve original cast and wrought iron, woven metal wire, or brick fences and walls. If historic fences or walls are missing, they may be reconstructed based on physical or pictorial evidence.
- (4) Cast iron fences may be added to buildings constructed in the mid- to late-19th and early 20th centuries. Cast iron fences are not appropriate for dwellings built after the mid-20th century.
- (5) Chain link, concrete block, or synthetic materials are not appropriate for the historic district in front yards or readily visible side yards. Split or horizontal rails, railroad ties, or timbers are inappropriate for front yards or elsewhere if readily visible.
- (6) Fence posts, rails, and other framing members should be on the inside of the fence facing the dwelling rather than the street and sidewalk.
- (7) Fence gates should be designed to be compatible with the overall fence design and consistent with the age and style of the dwelling.
- (8) For safety reasons Code requires that fences within 10 feet of streets be no taller than 3 feet or transparent so as to not obstruct the view of vehicles attempting to exit the property. Taller fences located more than ten feet from the public right-of-way may be considered. Fences should be located behind either the front plane of any open front porch of the building and that of any open front porch of any adjacent dwelling or behind any significant side elevation architectural feature (such as a bay window, porte-cochere or building projection) of the building, whichever is the lesser distance from the street.
- (9) Privacy fences of flat boards in a single row are preferred to shadowbox (alternating boards) designs. Fences with flat tops, "dog ear," or Gothic (pointed tops) designs are acceptable if the design is consistent with the house style. "Stockade" designs are prohibited. Fences should be stained or painted to blend with the dwelling or building. Privacy fences of brick or pierced brick are less appropriate for the historic district than those of wood but may be considered for rear yards.
- (10) Where residential properties are adjacent to commercial or other non-residential uses, alternative fence heights may be considered.

2012.3 Garages, Sheds, Outbuildings, and Ancillary Outdoor Structures

2012.301 Policy and Justification

Outbuildings are part of the historical and architectural significance of the historic district and reflect the cultural and technological changes over time. Historic outbuildings should be preserved and maintained. They should be repaired with materials and details to match the original. Georgetown has a tradition of ancillary and support buildings constructed in the rear yard of dwellings. These types of structures are appropriate if they are compatible with the primary dwelling in design and materials and are sited at traditional locations at the rear of the dwelling and not readily visible.

The general approach to new construction for outbuildings is to be secondary in scale and compatible with adjacent dwellings. Compatible means reinforcing typical features that the

primary dwelling on the lot may have as well as other dwellings and outbuildings along the block. Architects and property owners are encouraged to design outbuildings compatible with the context of primary dwellings on the lot and adjacent historic dwellings. Replications or reproductions of historic designs are also appropriate and acceptable for Georgetown's historic residential areas. The erection of ancillary outdoor features may be appropriate if they are sited in rear or side yards not readily visible from the street and adequately screened.

2012.302 Standards

- (1) Repair or replace original materials with in-kind materials to match.
- (2) Original garages, carriage houses, sheds, and outbuildings that retain their historic architectural character should be preserved and maintained.
- (3) Original outbuildings should be repaired with materials to match the original. If original garage doors on contributing buildings are missing or damaged, sectional overhead roll-up doors and side-hinged doors of wood in historic designs are appropriate. For noncontributing buildings these designs are also recommended, and doors of metal, composite, and other alternative materials will be considered.
- (4) Replace damaged or deteriorated sections of historic garages and accessory structures, only if deteriorated beyond repair and with in-kind materials to match the original. Where possible, replace only the damaged or deteriorated portions rather than the entire feature.
- (5) Outbuildings were often built without gutters and those of frame construction may have deterioration of the sills and lower siding materials. If this is the case, consider only repairing these damaged areas rather than replacing the entire structure. Original foundation materials should be preserved and maintained.
- (6) New garages and outbuildings should follow the historic setback for an outbuilding or garage on the property or patterns of other garages and outbuildings in the streetscape or historic district.
- (7) Reconstruction of a missing or replacement garage or outbuilding must be based on accurate evidence of the original configuration, form, massing, style, placement, and detail and confirmed with photographs or other documentation of the original building.
- (8) The design of new garages and outbuildings must be secondary to that of the primary historic dwelling. Under no circumstance should any outbuilding be larger than the primary structure.
- (9) New garages and outbuildings should be compatible in size, scale, proportion, spacing, texture, setbacks, height, materials, color, and detail to the primary dwelling and should relate to similar secondary buildings along the block.
- (10) Materials used for new garages and outbuildings should reflect historical development of the property. Materials used at exterior façades of garages and outbuildings were often different (and less costly) than that of the main dwelling. Materials that are appropriate for new secondary buildings include wood or brick. If frame buildings are constructed, alternative materials may be considered if they resemble traditional wood siding in texture, dimension, and overall appearance. Materials such as T1-11 siding are not sufficiently durable for exterior use and are not appropriate.
- (11) New outbuildings should be added in traditional locations such as along rear or side lot lines or in rear yards not readily visible from the public right-of-way.
- (12) The spacing and size of window and door openings in a new garage or outbuilding should be consistent with the historical development of the property and similar to

their historic counterparts within the streetscape or historic district, as should the proportion of window to wall space.

(13) Metal garage doors with a paneled design may be appropriate. These doors can be used on garages that are located at the back of the lot and are minimally visible from the street or public right-of-way. If the garage and garage doors are highly visible from a public street or located on a corner lot, install solid wood or wood garage doors with a paneled design.

(14) At double garages, two single garage doors rather than one larger, double door shall be installed. This will maintain the scale and rhythm of older structures, making a two-car garage seem smaller and more compatible with the primary dwelling.

(15) Prefabricated storage units less than six feet in height may be appropriate for back yards if not visible from the public right-of-way. Prefabricated carports and sheds are not permitted.

(16) The appearance and location of a new outbuilding should be based on the appearance of the historic outbuilding if such existed. Use historic photographs and other documentation such as Sanborn Fire Insurance maps for guidance as to size and location of a previous outbuilding on the property.

(17) If documentation of a historical outbuilding at the site is not available, the size, design, and location of a new outbuilding should be in keeping with other outbuildings in the block and historic district and complement the design of the main structure.

(18) If mechanical equipment, skylights, or solar panels are placed on the roof of a garage or other outbuilding, they should be set back or screened so that they are not readily visible from the public right-of-way.

(19) The installation or erection of ancillary outdoor features will be considered if located in rear or side yards, of a scale appropriate for the location, built with materials traditionally found in the historic district such as wood or brick, and such features complement the architectural design of the dwelling or main building and other improvements on the property and adjacent properties. In some instances, a readily visible ancillary outdoor feature may be required to be adequately screened to lessen its visual impact.

(20) New carports should be located at the rear of dwellings and not visible. Carport designs with flat roofs and metal support columns and are not compatible with historic building designs. Carports imitative of porte-cocheres (drive-thru wings on historic dwellings) with wood or brick columns, flat roofs, and wood construction may be added to sides of dwellings visible from the street. Carports should be reflective of the architecture of the house and not detract from the dwelling's original design.

2012.4 Grade Changes and Landscaping

2012.401 Policy and Justification

Grade changes in front yards which impact the visibility of the property are reviewed by the ARB. Landscaping with trees and plants in Georgetown's historic areas generally does not require ARB review. However, it is recommended that mature planting patterns and designs be respected for their traditional character and that new trees and plants be placed so as to not obscure or damage, presently or in the future, significant character-defining features of the property. The utilization of plants native to the area is preferred to the introduction of non-native species. The preservation of existing shade trees is city policy and property owners must follow the regulations set forth in **Error! Reference source not found.**

2012.402 Standards

- (1) Do not increase the grade of a property unless necessary to elevate the dwelling to meet flood plain requirements.
- (2) Raised planting beds must not be introduced in front yards.
- (3) Gazebos, pergolas and playground equipment must not be introduced in front yards.
- (4) Maintain plantings, especially native species, that reflect patterns of historic landscaping.
- (5) Landscape features that are original or pre-date 1960 such as walkways, retaining walls, curbs, stepping blocks, etc. should be preserved and maintained.
- (6) Railroad ties, cut wood, brick, concrete block, or any other unfinished structural materials are prohibited for front yards. Concrete block with a stucco wash may be appropriate.

2013 Standards for Residential Properties – New Construction

2013.1 Additions

2013.101 Policy and Justification

Additions to contributing dwellings are permissible as long as they minimally affect historic materials, are not readily visible, are secondary in size and scale to the footprint of the original dwelling and maintain the dominance of the original structure. The new addition should be distinguishable from the character of the original dwelling while blending with the overall design. An addition should be designed and constructed in a manner that would allow its potential removal in the future with minimal effect to the historic structure. For non-contributing buildings there may be additional flexibility in the design and size of rear additions.

2013.102 Standards

- (1) Additions should be appropriate to the architectural style of the existing building and must blend with those characteristics of the subject building and adjacent buildings and streetscapes.
- (2) New additions should be constructed on the rear elevation or on a non-character-defining elevation of an existing building and not readily visible. Character-defining features of buildings should not be radically changed, obscured, damaged, or destroyed by an addition. The existing historic building fabric should not be damaged by the installation of a new addition.
- (3) The design of an addition to a historic building must be distinguishable from the original historic building.
- (4) The connections between an addition and the historic building should be visibly discernible. A transition between the new addition and the historic structure should be identifiable and maintained.
- (5) For additions and/or alterations to the primary building façade, the main entrance should be oriented towards the street.
- (6) Additions shall respect the scale and massing of neighboring historic buildings. Large additions may be required to be divided into smaller components similar in scale to the original building and neighboring historic buildings.
- (7) Additions should be designed to respect the established front and side yard setbacks present in the overlay district.

2001 Demolition of Structures

2001.1 Demolition

2001.101 Policy and Justification

Demolitions have a domino effect of continual erosion by further demolitions which destroy the historic district's architectural history and historic character. Demolition of buildings that contribute to the historic or architectural significance of the district should only be an action of last resort. Vacant or empty lots in the historic district are not appropriate. Relocation of an existing historic building to a compatible location in the historic district is always preferred. Demolition of existing structures within the historic district must be approved by the ARB. Demolition through neglect is not permitted and owners who do not conform to maintenance codes may be subject to legal action (See Section **Error! Reference source not found. Error! Reference source not found.**).

Applicants should understand that a demolition request involving contributing properties cannot be settled in a single ARB meeting but may take months to reach a final decision. The ARB will need to inspect the building inside and out as well as the site, setting, location and related outbuildings. Consultation with experts may be necessary. A decision can only be reached after thorough analysis of the historic and architectural documentation that must accompany an application for demolition.

The reasons for demolition will be as carefully evaluated as to the historic and architectural significance of the property if they involve claims that the building is beyond repair or rehabilitation. However, if the building is planned for demolition to accommodate new construction, expansion of another building or new development, the ARB may not receive the future replacement designs for review until a later meeting after the demolition decision is reached. On the other hand, if the present building can be incorporated into the new construction in some manner, the ARB may request those future plans and drawings.

2001.102 Standards

- (1) Demolition of a building that contributes to the historic or architectural significance of the historic district should not occur, unless:
 - (a) public safety and welfare require the removal of the building or structure;
 - (b) the building has lost its architectural and historical value;
 - (c) the building does not contribute to the historical or architectural character of the historic district, its removal will improve the appearance of the district, and will not adversely impact the integrity of the historic streetscape and the historic district; or if the denial of the demolition will result in a substantial economic hardship on the applicant (See Section 2021) **Error! Reference source not found.**
- (2) In order for the ARB to reach the important decision of demolishing a contributing building, the owner should submit with the application historic background and archival research, thorough documentation of the building and property, and a plan for dismantling of historic materials for salvation. Such materials to be salvaged include historic timber framing,

windows, doors, mantels, newel posts, balusters, moldings, flooring, hardware, metalwork, brackets, weatherboard, brick, stone, other masonry components, and any other interior or exterior decorative elements.

- (3) If demolition appears inevitable, the owner is encouraged to consider moving or relocating the building to another location within or near the historic district, and the ARB may pursue measures with the owner and other parties to preserve the contributing resource.
- (4) An experienced, licensed, and qualified structural or architectural engineer and builder with experience on historic buildings should evaluate the condition of the subject building and whether it might be able to withstand relocation as an alternative to demolition. This assessment should consider how much damage can be caused by removal and be compiled into a historic conditions report for the ARB evaluation. In situations involving contributing properties, other expert consultation including the SC Department of Archives and History may be necessary.
- (5) If relocation is approved, follow the applicable guidelines under Moving or Relocation of Contributing Buildings (see Section **Error! Reference source not found. Error! Reference source not found.**).
- (6) When approved, the demolition should be accomplished in a manner that will preserve existing trees and major vegetation.

APPLICABLE UDO GUIDELINES:

All applicable guidelines can be found in the City of Georgetown Unified Development Ordinance (UDO) on the City of Georgetown website.

500 Area, Yard, and Height Requirements Table.

District	MINIMUM LOT SIZE			MINIMUM SETBACK FROM PROPERTY LINE				Maximum Height of Structure
	Area in Square Feet	Area in Acres	Lot Width at Building Line	Front	Side	Rear	Principal Street Side on Corner Lot [511]	
R1 Residential	10,000	--	70	30[508]	10	20	15	35
R2 Residential	8,000[501.1]	--	60[502.1]	30[508]	10	20	15	35
R3 Residential	8,000 [501.2,509] 12,000 (MF) [502.1, 510.1]	--	60[502.2]	30[508] 35[508]	8 30	10 30	12 45	35
R4 Residential	6,000 [501.2,510.2] 10,000 (MF)[501.2, 510.2]	--	60[502.3]	25[508] 25[508]	8 10	10 15	12 15	35

802 Accessory Use, Building, Structure

802.2 Residential Properties.

802.204 Additions attached to the primary structure via a conditioned walkway, as well as attached decks, carports and garages (open-air or enclosed) shall not be considered accessory structures and must comply with setback requirements as defined in Article V: Area, Yard, and Height Requirements for the applicable zoning district.

OPTIONS:

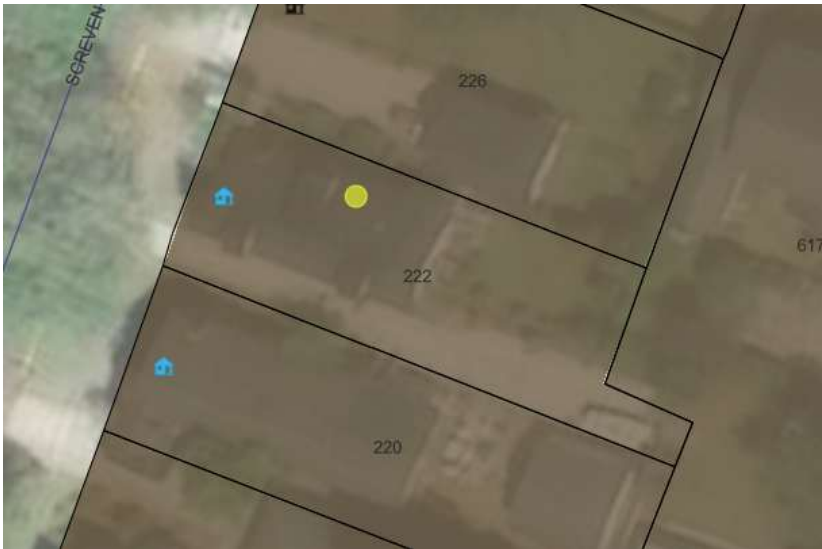
1. Approve request as submitted by applicant.

2. Approve application with conditions imposed by the Architectural Review Board.
3. Deny request.
4. Defer request for more information. The time limit of deferral must be mutually agreed upon between the board and the applicant.

If approved, building permit application, a copy of the COA, and applicable fees are required to be submitted to the Planning & Community Development Department prior to commencement of any work.

REFERENCE MATERIALS

REFERENCE ITEM 1: City of Georgetown Zoning Map *Please note the new Historic District Survey layer indicators. Orange indicates a Non-Contributing status, Blue indicates a Contributing status, black indicates no survey.*



Parcel View



Block View

REFERENCE ITEM 2: City of Georgetown Future Land Use Map *Approximate position of property in question indicated by dot.*



REFERENCE ITEM 3: FEMA Flood Map

Flood zone	AE
Coastal A zone	No
Supplemental Coastal A	No
In Floodway	No
In CBRS	No
In OPA	No
Base Flood Elevation	10.0 ft
Design Flood Elevation	12.0 ft
Datum	NAVD88
FIRM Panel Effective Date	5/9/2023
FIRM panel	45043C0485G
FEMA MFC Product	Link



Statewide Survey of Historic Properties
State Historic Preservation Office
South Carolina Department of Archives and History
8301 Parklane Rd.
Columbia, SC 29223-4905 (803) 896-6100

Control Number: U / 43 / 191-0320
Status County No Site No
Quad Name: Georgetown South
Tax Map No.: 05-0030-160-00-00

Intensive Documentation Form

Identification

Historic Name: Pollock House
Common Name:
Address/Location: 222 Screven Street

City: Georgetown County: Georgetown
Vicinity of:
Ownership: Private Category: building
Historical Use: Domestic
Current Use: Domestic

National Register of Historic Places Information

SHPO National Register Determination: Contributes to Listed District
Notes on National Register Status: This resource was constructed after the Georgetown National Register Historic District's period of significance; however it would be a contributing resource if the historic district's period of significance is expanded to include the 1922-1960 period.

Other Designation:

Property Description

Construction Date: c. 1930 Commercial Form: Stories: 1 story
Alteration Date: c. 1970 Historic Core Shape: rectangular

Roof Features

Shape: gable, end to front
Materials: composition shingle

Porch Features

Porch Width: over 1 bay but less than full
Shape: gable

Construction Method: frame
Exterior Walls: brick veneer
Foundation: not visible

Significant Architectural Features: Frame Vernacular with brick veneer: 6/6 sash with rowlock sills and soldier course lintels, exterior and 2 interior chimneys, Tuscan posts, cornice returns.

Alterations: c. 1970: rear porch enclosed with weatherboard and sash windows.

Architect(s)/Builder(s):

Historical Information

Historical Information:

Source of Information: Sanborn Map: 1932.

Photographs

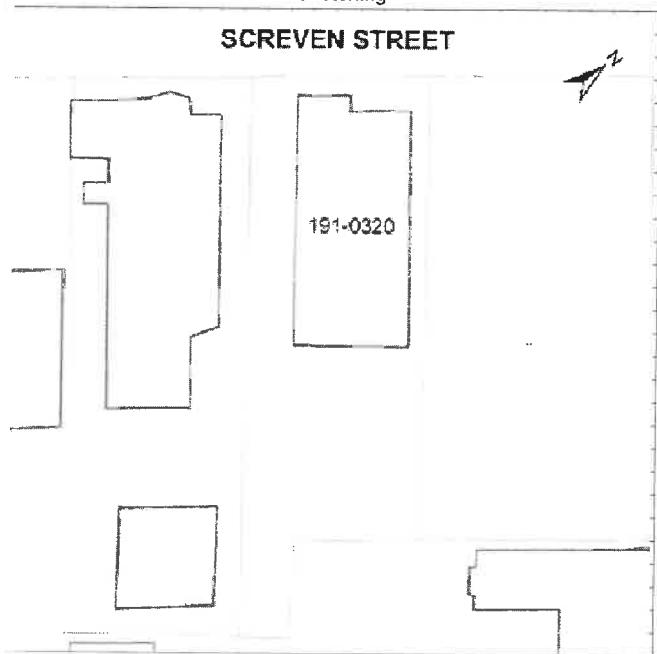
Roll No.	Neg. No.	View of
		Façade and Side Elevations, Looking E
		Façade and Side Elevations, Looking S



Use Grid for Sketching

SCREVEN STREET

191-0320

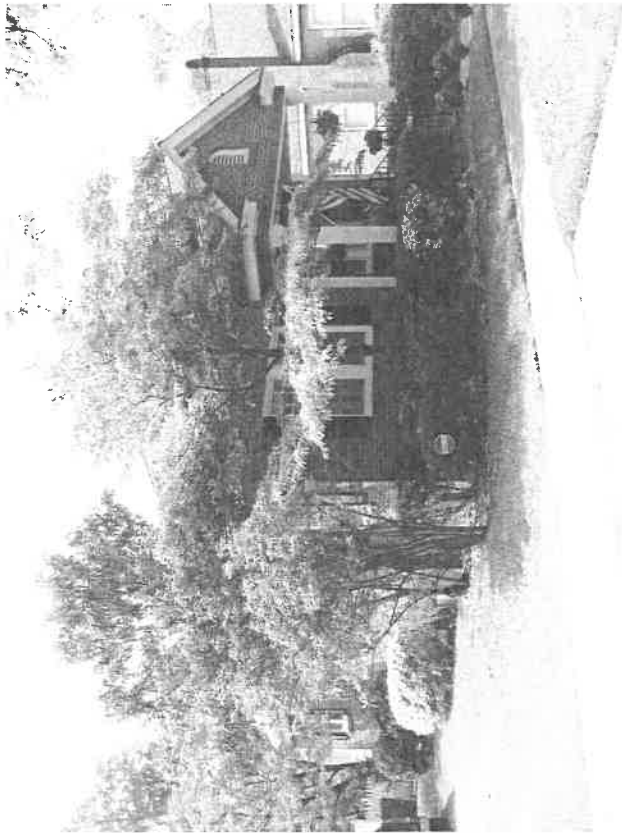


Program Management

Recorded by: Ellen Jenkins (TRC)

Date Recorded: 6/27/2010

191-0320: 222 Screven Street



Date Filed: _____

ARB Request Form

Appeal #: _____

Description of Request:

** PLEASE FIND ATTACHED ADDENDUM.*

List of materials to be used:

In addition to this application, the following supporting materials have been submitted.

I certify that all the information included within this application is accurate and true:

Signature:

Date:

[Handwritten Signature]

5/20/26

FOR OFFICE USE ONLY

Appeal Number:

Applicable fee:

ARB-2026-0019

\$200⁰⁰

Date Received:

Meeting Date:

6/9/26

Code Compliance

Building Code:

Flood Code:

Zoning Code:

R4 + HD

Notes:



John Marshall Interior Design

416 Screven Street Georgetown, South Carolina 29440

June 2, 2026

The City of Georgetown Architectural Review Board

RE: Cannon & Marguerite Barr
222 Screven Street
Georgetown, SC 29440
Tax Map Number: 05-0030-160-00-00
Zoning: R4

- I. Proposal Description (Addendum to Application)
 - A. Addition of Master Suite & Attached Garage(REF: Site Plan A100-1)
 - 1) Master Suite Addition- We are proposing an addition to the property that will include enclosing the Existing Carport. This portion of the proposed addition will adjoin the existing house.
 - 2) A portion of this proposal includes the addition of a Gallery onto the front, street-facing elevation of the Existing Carport.
 - 3) The proposed New Garage will be attached to the Master Suite/ Gallery portion of the proposed addition.
 - B. Concept
 - 1) While not historic, we want to be respectful of the existing house. This house was built circa 1940 and has character-rich attributes that will be repeated throughout the proposed addition. (REF: Doc of Existing)
 - 2) Interestingly, the front door of the house is perpendicular to the façade, leaving the main entrance mostly hidden from street view. The existing house is also very narrow as well as deep.
 - 3) The proposed enclosure of the Existing Carport has arisen out of near necessity for this young and growing family. This portion of the proposed addition allows us to create an obvious “Main Entrance” to the house drawing focus away from the existing house.
 - 4) Currently, the Existing House and Carport are primarily built on the right side (Screven Street- Facing) of the property. The left side of the property is currently a fenced-in yard and play area. This mostly unused portion of

the property allows for the addition of a new, Attached Garage. (Ref: Site Plan-A100-1)

- 5) The overall goal of this proposed addition is to create a more functional and useable living space for the client. By incorporating the Master Suite/ Gallery and New Garage into the existing house, we also propose to create an entirely different and cohesive single-family residence. The elements outlined in this proposal will result in an architecturally appropriate finished product that will not only enhance this property, but the community in general.

C. New Construction

- 1) The Master Suite/ Gallery portion of this addition will be 812 sq. ft. The footprint of the Existing Carport will not change and will remain as built when ARB approved in 2022. The addition of a Gallery to the street-facing wall of the Master Suite is included within the 812 sq. ft. overall and more than meets all setback requirements. (REF: Site Plan- A100-1, Floor Plan- A102-1)
- 2) The Attached Garage portion of this addition will have a footprint that is 35' x 30' (1050 sq. ft.) as shown on drawings. This proposed addition will include an office on the second floor. As shown on the Site Plan, this structure meets the setback requirements of 25' from the sidewalk, 4' from property line on the left wall and well within the 8' setback required along the rear property line. (REF: Site Plan- A100-1, Floor Plan- A102-1)
- 3) Height restrictions applicable to 222 Screven Street limit structures to 35'-0". The maximum height proposed falls well under that limit at 24'-0". This is also the height of the Existing House. Proposed roof pitches will be 9/12 as is the existing roof. (REF: Elevations- A203-1, A203-2)
- 4) FEMA Flood Zone/ CoG "Freeboard" Rule- A portion of this property does fall within a flood plain. Based on FEMA regulations, the Master Suite/ Gallery portion of the addition must be 10' ASL. With the CoG "Freeboard" Rule, an additional 2' must be added, bringing a required 12' ASL. All drawings indicate a floor height that is 9 ½" above the finished floor of the existing house, thus being in compliance with flood regulations/ restrictions. See Elevation Certificate. (REF: Doc B- Elevation Certificate)

D. Description of Exterior Materials

- 1) Roofing
 - a. Architectural Shingles- New roofing is dictated by the existing and will be a 30-year, Asphalt, Architectural Shingle in Charcoal. This material will be applied to the Master Suite addition as well as the Attached Garage. (REF: DOCA- A1)

- b. Metal- The dormers on the Existing House, added in 2022, have metal rooves in natural silver. This proposal includes replacing the existing metal with standing-seam, metal roofing in Bronze. This roofing material would also extend to the Gallery portion of the proposed addition. The introduction of the standing-seam metal roofing will add interest and texture forming a lovely unity with the other exterior finishes. (REF: Doc 4- A2)

2) Masonry & Siding

- c. Siding- Similarly to the roofing materials, the Existing Carport and dormers, added in 2022, are finished with Hardie Plank. We propose using matching Hardie Plank on the exterior of the New Construction. Fascia, overhangs as well as exterior casing and molding will also be done in Hardie material inasmuch as possible. (REF: Doc A- B1)
- d. Masonry- In our goal to create a complete and cohesive finished product, we propose the use of Brick for the crawl space areas below the applied Hardie Plank. This includes the outer perimeter of the Master Suite/ Gallery as well as the Attached Garage. The new Main Entrance “stoop” and steps will also be Brick. Included in this proposal is the addition of Brick knee walls that will draw the eye toward the Main Entrance as well as delineate the parking area from the courtyard these walls will create. These walls will be app. 42” in height with Brick columns that will be 48” (6” taller than the proposed wall). See drawings. (REF: DocA- B2)

3) Doors & Windows

- a. Doors- The Main Entrance Door proposed is constructed of solid, yellow pine. This door will be $\frac{3}{4}$, true divided light consisting of 12 glass panels above two solid wooden raised panels. This style door not only allows more natural light into the space, but it continues the same lines as the windows shown along the street-facing Gallery. This door will be a wood finish. (REF: Doc B- C1)
- b. Exterior Doors- As shown on the drawings, there are two, single-passage doors on the Attached Garage. These two doors will be steel, simulated, raised panel, standard, 36” x 80” exterior doors with transoms. (REF: Doc A- C2)
- c. Garage Doors- The garage doors we are proposing will continue the “wood finish” color and texture from the Main Entrance Door to the street-facing façade of the proposed Attached Garage. These doors will be constructed of steel and finished to simulate the finish shown in the List of Specifications. These doors will be solid with no glass and

will have appropriate hardware to finish the overall look. (REF: Doc A-C3)

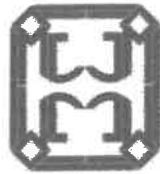
- d. Windows- All proposed windows are accurately sized and shown on the drawings. These windows will be solid wood, true divided light, double-hung windows and will replicate the windows in the Existing House. (REF: Doc A- E)
- e. Shutters- The proposed new shutters will be wooden, louvered and non-operable. These will be a duplicate of the shutters on the Existing House.

4) Hardscape

- a. Driveway (CoG)- Naturally, with the proposal of an Attached Garage, an additional driveway is going to be needed. We propose a new, single-entry, concrete driveway from the street to the sidewalk. We are happy to comply with City of Georgetown protocol regarding the implementation of the driveway.
- b. Driveway (Proposed)- This proposal includes continuing the driveway provided by the CoG from the inside of the sidewalk to the Attached Garage. This would be constructed of traditional, small-shell tabby with a softscape ribbon in the center. See drawing for specific design. *An obvious acceptable alternative to tabby would be concrete. The existing driveway/ parking area is concrete. This proposal includes leaving the existing concrete in the parking area. (REF: Doc A-F1)
- c. Courtyard (Proposed)- We would like to implement the use of concrete lattice hardscape inside the new courtyard. This product is designed to create softer hardscapes by allowing grass to grow through the spaces within the lattice tiles. Not only will this material provide adequate, pervious drainage, it contributes to the sophistication of the overall finished product of the project. See drawings. (REF: Doc A- F2)

5) Lighting- We propose the use of traditional, copper, gas-powered Lanterns. The copper finish will complete the overall finished look and will pair beautifully with the standing-seam metal roofing, painted masonry, etc. This would include ceiling-mount fixtures for Main Entrance and Existing Front Stoop and wall-mounted fixtures for Attached Garage Side Door & Garage Door Elevation

- a) Ceiling Mount Notes (REF: Doc A-G1)
- b) Wall Mount Notes (REF: Doc A-G2)
- c) Post Mount Notes (REF: Doc A-G3)



John Marshall Interior Design

416 Screven Street Georgetown, South Carolina 29440

Document A: Specifications & Finishes

Document A: Specifications & Finishes

A. Roofing

- 1) Architectural Shingles- 30 yr, Asphalt Architectural Shingles, Charcoal



- 2) Standing-Seam, Metal Roofing, Bronze

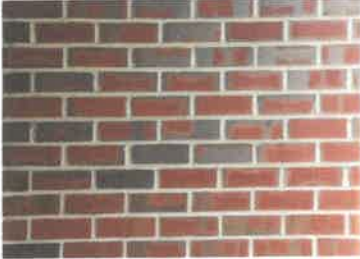


B. Masonry & Siding (Masonry & Siding will be painted.)

- 1) Hardie Plank Smooth, with Bead



- 2) Masonry- All brick masonry will be painted. (Existing and New Construction)



C. Doors

- 1) Main Entry Door- Solid Wood, $\frac{3}{4}$ True Divided Light, 12 Pane/ 2 Panel Entry Door in Wood Finish



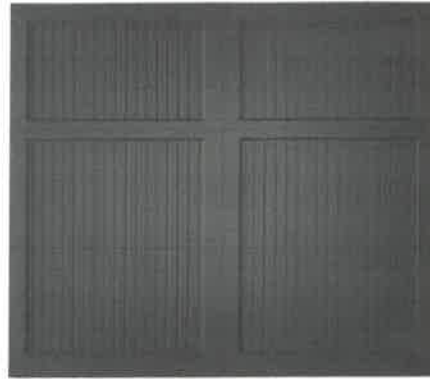
Chestnut

A semi-transparent brown and tan scheme that elevates and transforms the look of natural wood

- 2) Single Passage Doors (Garage)- Steel, 6-Panel, 36" x 80", Standard Exterior Door with Transom (2 ea)



3) Garage Doors- Steel, Simulated Plank, Overhead Mount, “Wood” Finish Garage Doors (2ea)



Chestnut

A semi-transparent brown and tan scheme that elevates and transforms the look of natural wood

D. Windows- Solid Wood, Double-Hung, 6 over 6 True Divided Light, Windows

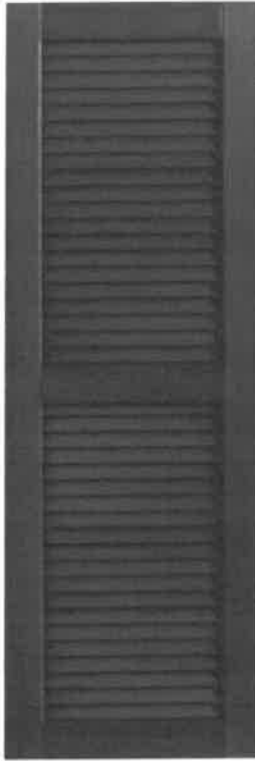


CERTIFIED TO:

3

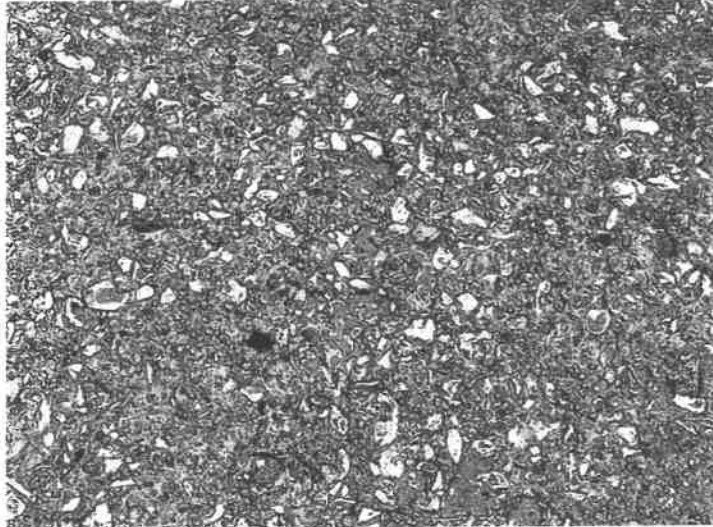
Premium Coastal single-glazed and insulated double hung window

E. Shutters- Wooden, Louvered, Non-operable, Painted Shutters

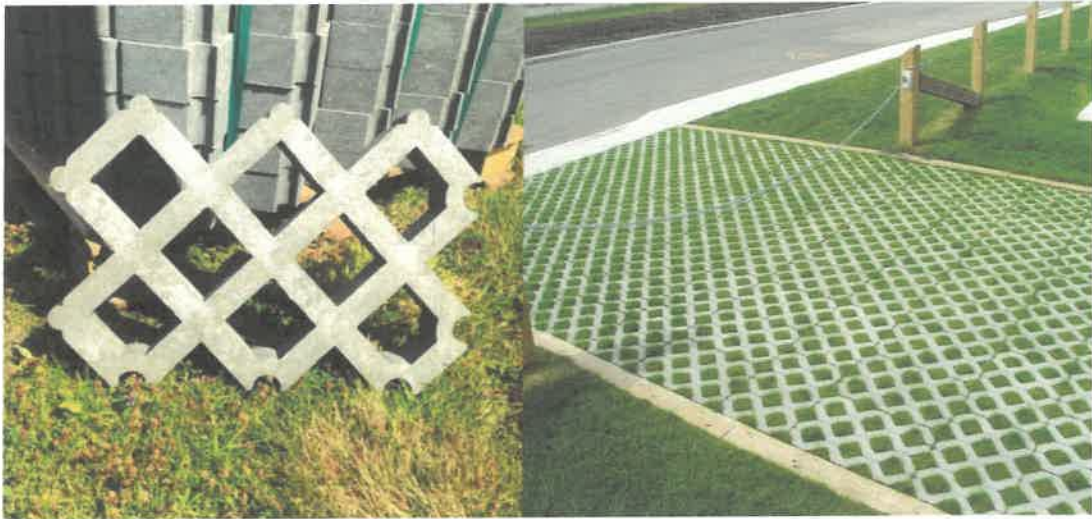


F. Hardscape

1) Tabby- Small-Shell, Traditional Tabby/ Concrete, Ribbon Driveway

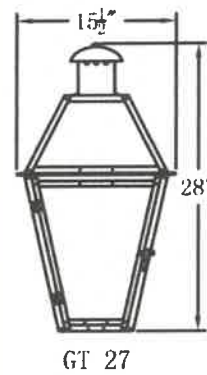


2) Concrete Lattice- Concrete Lattice Pavers, 18"x 24"

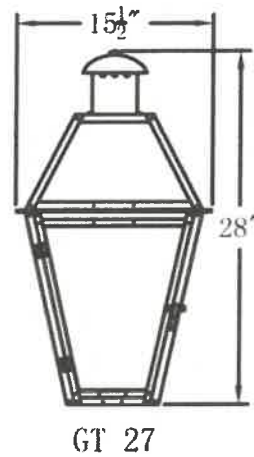


G. Lighting

- 1) Main Entry & Existing Front Stoop- Ceiling Mounted, Copper/ Gas Lanterns (2 ea)



- 2) Wall Lanterns- Attached Garage Front Elevation, Wall Mount, Copper/ Gas Lanterns (3 ea.)



- II. Document A: Specifications & Finishes
- III. Document B: Elevation Certificate
(See Attached)
- IV. Document C: Survey/ Plat
(See Attached)
- V. Document D: Photos of Existing House
(See Attached)



John Marshall Interior Design

418 Screven Street Georgetown, South Carolina 29440

Document B: Elevation Certificate

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON INSTRUCTION PAGES 1-11

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION	FOR INSURANCE COMPANY USE
<p>A1. Building Owner's Name: <u>Wallace Pate Ford</u></p> <p>A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: <u>222 Screven Street</u></p> <p>City: <u>Georgetown</u> State: <u>SC</u> ZIP Code: <u>29440</u></p> <p>A3. Property Description (e.g., Lot and Block Numbers or Legal Description) and/or Tax Parcel Number: <u>T.M.#05-0030-160-00-00 Part of City Lots 113 and 114</u></p> <p>A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.): <u>Residential</u></p> <p>A5. Latitude/Longitude: Lat. <u>33.36740N</u> Long. <u>79.28026W</u> Horiz. Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983 <input type="checkbox"/> WGS 84</p> <p>A6. Attach at least two and when possible four clear color photographs (one for each side) of the building (see Form pages 7 and 8).</p> <p>A7. Building Diagram Number: <u>8</u></p> <p>A8. For a building with a crawlspace or enclosure(s):</p> <p style="margin-left: 20px;">a) Square footage of crawlspace or enclosure(s): <u>1768</u> sq. ft.</p> <p style="margin-left: 20px;">b) Is there at least one permanent flood opening on two different sides of each enclosed area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A</p> <p style="margin-left: 20px;">c) Enter number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade: Non-engineered flood openings: <u>9</u> Engineered flood openings: <u>NA</u></p> <p style="margin-left: 20px;">d) Total net open area of non-engineered flood openings in A8.c: <u>368</u> sq. in.</p> <p style="margin-left: 20px;">e) Total rated area of engineered flood openings in A8.c (attach documentation – see Instructions): <u>NA</u> sq. ft.</p> <p style="margin-left: 20px;">f) Sum of A8.d and A8.e rated area (if applicable – see Instructions): <u>NA</u> sq. ft.</p> <p>A9. For a building with an attached garage:</p> <p style="margin-left: 20px;">a) Square footage of attached garage: <u>NA</u> sq. ft.</p> <p style="margin-left: 20px;">b) Is there at least one permanent flood opening on two different sides of the attached garage? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A</p> <p style="margin-left: 20px;">c) Enter number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade: Non-engineered flood openings: <u>NA</u> Engineered flood openings: <u>NA</u></p> <p style="margin-left: 20px;">d) Total net open area of non-engineered flood openings in A9.c: <u>NA</u> sq. in.</p> <p style="margin-left: 20px;">e) Total rated area of engineered flood openings in A9.c (attach documentation – see Instructions): <u>NA</u> sq. ft.</p> <p style="margin-left: 20px;">f) Sum of A9.d and A9.e rated area (if applicable – see Instructions): <u>NA</u> sq. ft.</p>	<p>Policy Number: _____</p> <p>Company NAIC Number: _____</p>
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION	
<p>B1.a. NFIP Community Name: <u>City of Georgetown</u> B1.b. NFIP Community Identification Number: <u>450087</u></p> <p>B2. County Name: <u>Georgetown County</u> B3. State: <u>SC</u> B4. Map/Panel No.: <u>45043C 0485</u> B5. Suffix: <u>G</u></p> <p>B6. FIRM Index Date: <u>05/09/2023</u> B7. FIRM Panel Effective/Revised Date: <u>05/09/2023</u></p> <p>B8. Flood Zone(s): <u>AE</u> B9. Base Flood Elevation(s) (BFE) (Zone AO, use Base Flood Depth): <u>10</u></p> <p>B10. Indicate the source of the BFE data or Base Flood Depth entered in Item B9: <input type="checkbox"/> FIS <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other: _____</p> <p>B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____</p> <p>B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA</p> <p>B13. Is the building located seaward of the Limit of Moderate Wave Action (LiMWA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON INSTRUCTION PAGES 1-11

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: <u>222 Screven Street</u>	FOR INSURANCE COMPANY USE
City: <u>Georgetown</u> State: <u>SC</u> ZIP Code: <u>29440</u>	Policy Number: _____ Company NAIC Number: _____

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

- C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
 *A new Elevation Certificate will be required when construction of the building is complete.
- C2. Elevations – Zones A1–A30, AE, AH, AO, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO, A99. Complete Items C2.a–h below according to the Building Diagram specified in Item A7. In Puerto Rico only, enter meters.
 Benchmark Utilized: SC VRS Station Vertical Datum: NAVD 1988

Indicate elevation datum used for the elevations in items a) through h) below.
 NGVD 1929 NAVD 1988 Other: _____

Datum used for building elevations must be the same as that used for the BFE. Conversion factor used? Yes No
 If Yes, describe the source of the conversion factor in the Section D Comments area.

			Check the measurement used:
a) Top of bottom floor (including basement, crawlspace, or enclosure floor):	<u>8.3</u>	<input checked="" type="checkbox"/>	feet <input type="checkbox"/> meters
b) Top of the next higher floor (see Instructions):	<u>11.3</u>	<input checked="" type="checkbox"/>	feet <input type="checkbox"/> meters
c) Bottom of the lowest horizontal structural member (see Instructions):	<u>10.4</u>	<input checked="" type="checkbox"/>	feet <input type="checkbox"/> meters
d) Attached garage (top of slab):	<u>NA</u>	<input checked="" type="checkbox"/>	feet <input type="checkbox"/> meters
e) Lowest elevation of Machinery and Equipment (M&E) servicing the building (describe type of M&E and location in Section D Comments area):	<u>9.1</u>	<input checked="" type="checkbox"/>	feet <input type="checkbox"/> meters
f) Lowest Adjacent Grade (LAG) next to building: <input type="checkbox"/> Natural <input checked="" type="checkbox"/> Finished	<u>8.3</u>	<input checked="" type="checkbox"/>	feet <input type="checkbox"/> meters
g) Highest Adjacent Grade (HAG) next to building: <input type="checkbox"/> Natural <input checked="" type="checkbox"/> Finished	<u>8.5</u>	<input checked="" type="checkbox"/>	feet <input type="checkbox"/> meters
h) Finished LAG at lowest elevation of attached deck or stairs, including structural support:	<u>8.3</u>	<input checked="" type="checkbox"/>	feet <input type="checkbox"/> meters

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by state law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No

Check here if attachments and describe in the Comments area.

Certifier's Name: L. Bruce Abbott License Number: SCPLS #29504

Title: PLS

Company Name: Tidewater Land Surveying LLC

Address: P.O. Box 46

City: Andrews State: SC ZIP Code: 29510

Telephone: (843) 833-2190 Ext.: _____ Email: Lbruceabbott@gmail.com

Signature: _____ Date: 02/21/2025



Place Seal Here

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including source of conversion factor in C2; type of equipment and location per C2.e; and description of any attachments):
 C2 e - AC Unit (rear) Note: Second AC unit = 9.2 Generator = 9.5 Hot water heater = 12.1

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON INSTRUCTION PAGES 1-11

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:

222 Screven Street

City: Georgetown

State: SC

ZIP Code: 29440

FOR INSURANCE COMPANY USE

Policy Number: _____

Company NAIC Number: _____

SECTION E – BUILDING MEASUREMENT INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO, ZONE AR/AO, AND ZONE A (WITHOUT BFE)

For Zones AO, AR/AO, and A (without BFE), complete Items E1–E5. For Items E1–E4, use natural grade, if available. If the Certificate is intended to support a Letter of Map Change request, complete Sections A, B, and C. Check the measurement used. In Puerto Rico only, enter meters.

Building measurements are based on: Construction Drawings* Building Under Construction* Finished Construction

*A new Elevation Certificate will be required when construction of the building is complete.

E1. Provide measurements (C.2.a in applicable Building Diagram) for the following and check the appropriate boxes to show whether the measurement is above or below the natural HAG and the LAG.

a) Top of bottom floor (including basement, crawlspace, or enclosure) is: _____ feet meters above or below the HAG.

b) Top of bottom floor (including basement, crawlspace, or enclosure) is: _____ feet meters above or below the LAG.

E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (C2.b in applicable Building Diagram) of the building is: _____ feet meters above or below the HAG.

E3. Attached garage (top of slab) is: _____ feet meters above or below the HAG.

E4. Top of platform of machinery and/or equipment servicing the building is: _____ feet meters above or below the HAG.

E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S AUTHORIZED REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge*

Check here if attachments and describe in the Comments area.

Property Owner or Owner's Authorized Representative Name: _____

Address: _____

City: _____ State: _____ ZIP Code: _____

Telephone: _____ Ext.: _____ Email: _____

Signature: _____ Date: _____

Comments:

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON INSTRUCTION PAGES 1-11

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:
222 Screven Street

City: Georgetown State: SC ZIP Code: 29440

FOR INSURANCE COMPANY USE

Policy Number: _____

Company NAIC Number: _____

SECTION G – COMMUNITY INFORMATION (RECOMMENDED FOR COMMUNITY OFFICIAL COMPLETION)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Section A, B, C, E, G, or H of this Elevation Certificate. Complete the applicable item(s) and sign below when:

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by state law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2.a. A local official completed Section E for a building located in Zone A (without a BFE), Zone AO, or Zone AR/AO, or when item E5 is completed for a building located in Zone AO.
- G2.b. A local official completed Section H for insurance purposes.
- G3. In the Comments area of Section G, the local official describes specific corrections to the information in Sections A, B, E and H.
- G4. The following information (Items G5–G11) is provided for community floodplain management purposes.
- G5. Permit Number: _____ G6. Date Permit Issued: _____
- G7. Date Certificate of Compliance/Occupancy Issued: _____
- G8. This permit has been issued for: New Construction Substantial Improvement
- G9.a. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters Datum: _____
- G9.b. Elevation of bottom of as-built lowest horizontal structural member: _____ feet meters Datum: _____
- G10.a. BFE (or depth in Zone AO) of flooding at the building site: _____ feet meters Datum: _____
- G10.b. Community's minimum elevation (or depth in Zone AO) requirement for the lowest floor or lowest horizontal structural member: _____ feet meters Datum: _____
- G11. Variance issued? Yes No If yes, attach documentation and describe in the Comments area.

The local official who provides information in Section G must sign here. *I have completed the information in Section G and certify that it is correct to the best of my knowledge. If applicable, I have also provided specific corrections in the Comments area of this section.*

Local Official's Name: _____ Title: _____

NFIP Community Name: _____

Telephone: _____ Ext.: _____ Email: _____

Address: _____

City: _____ State: _____ ZIP Code: _____

Signature: _____ Date: _____

Comments (including type of equipment and location, per C2.e; description of any attachments; and corrections to specific information in Sections A, B, D, E, or H):

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON INSTRUCTION PAGES 1-11

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: 222 Screven Street	FOR INSURANCE COMPANY USE
City: <u>Georgetown</u> State: <u>SC</u> ZIP Code: <u>29440</u>	Policy Number: _____
	Company NAIC Number: _____

SECTION H – BUILDING'S FIRST FLOOR HEIGHT INFORMATION FOR ALL ZONES (SURVEY NOT REQUIRED) (FOR INSURANCE PURPOSES ONLY)

The property owner, owner's authorized representative, or local floodplain management official may complete Section H for all flood zones to determine the building's first floor height for insurance purposes. Sections A, B, and I must also be completed. Enter heights to the nearest tenth of a foot (nearest tenth of a meter in Puerto Rico). *Reference the Foundation Type Diagrams (at the end of Section H Instructions) and the appropriate Building Diagrams (at the end of Section I Instructions) to complete this section.*

H1. Provide the height of the top of the floor (as indicated in Foundation Type Diagrams) above the Lowest Adjacent Grade (LAG):

a) For Building Diagrams 1A, 1B, 3, and 5–8. Top of bottom _____ feet meters above the LAG floor (include above-grade floors only for buildings with crawlspaces or enclosure floors) is:

b) For Building Diagrams 2A, 2B, 4, and 6–9. Top of next higher floor (i.e., the floor above basement, crawlspace, or enclosure floor) is: _____ feet meters above the LAG

H2. Is all Machinery and Equipment servicing the building (as listed in Item H2 instructions) elevated to or above the floor indicated by the H2 arrow (shown in the Foundation Type Diagrams at end of Section H instructions) for the appropriate Building Diagram?

Yes No

SECTION I – PROPERTY OWNER (OR OWNER'S AUTHORIZED REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and H must sign here. *The statements in Sections A, B, and H are correct to the best of my knowledge.* Note: If the local floodplain management official completed Section H, they should indicate in Item G2.b and sign Section G.

Check here if attachments are provided (including required photos) and describe each attachment in the Comments area.

Property Owner or Owner's Authorized Representative Name: _____

Address: _____

City: _____ State: _____ ZIP Code: _____

Telephone: _____ Ext.: _____ Email: _____

Signature: _____ Date: _____

Comments: _____

ELEVATION CERTIFICATE
IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON INSTRUCTION PAGES 1-11
BUILDING PHOTOGRAPHS

See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:
222 Screven Street

City: Georgetown State: SC ZIP Code: 29440

FOR INSURANCE COMPANY USE

Policy Number: _____

Company NAIC Number: _____

Instructions: Insert below at least two and when possible four photographs showing each side of the building (for example, may only be able to take front and back pictures of townhouses/rowhouses). Identify all photographs with the date taken and "Front View," "Rear View," "Right Side View," or "Left Side View." Photographs must show the foundation. When flood openings are present, include at least one close-up photograph of representative flood openings or vents, as indicated in Sections A8 and A9.



Photo One

Photo One Caption: Front view 2-21-25

Clear Photo One



Photo Two

Photo Two Caption: Left side view 2-21-25

Clear Photo Two

ELEVATION CERTIFICATE
IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON INSTRUCTION PAGES 1-11
BUILDING PHOTOGRAPHS

Continuation Page

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:
222 Screven Street

City: Georgetown State: SC ZIP Code: 29440

FOR INSURANCE COMPANY USE

Policy Number: _____

Company NAIC Number: _____

Insert the third and fourth photographs below. Identify all photographs with the date taken and "Front View," "Rear View," "Right Side View," or "Left Side View." When flood openings are present, include at least one close-up photograph of representative flood openings or vents, as indicated in Sections A8 and A9.



Photo Three

Photo Three Caption: Rear view 2-21-25

Clear Photo Three



Photo Four

Photo Four Caption: Right side view 2-21-25

Clear Photo Four



John Marshall Interior Design

416 Screven Street Georgetown, South Carolina 29440

Document C: Survey/ Plat

- REFERENCES:
1. DEED BOOK 448, PAGE 244 (TMS-05-0030-160-00-00)
 2. RECORD BOOK 1351, PAGE 248 (TMS-05-0030-161-00-00)

NOTES:

1. THIS PROPERTY IS LOCATED IN FLOOD ZONE X, PER F.L.M. COMMUNITY PANEL 460087 0002 A, REVISED 03/18/1988.
2. COVER: AS BUILDING SETBACKS: FRONT = 25' SIDE = 5' REAR = 10'
3. SETBACKS TO BE MAINTAINED BY THE CITY OF GEORGETOWN (AND IF APPLICABLE, DEPRIVED BY APPROPRIATE NCA OR ABE).
4. THIS PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD, NO TITLE SEARCH PERFORMED BY THIS OFFICE.
5. THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSONS OR ENTITY PERFORMING OR ORDERING THIS SURVEY. THIS SURVEY DOES NOT ESTABLISH UNLAWFUL PERSONS OR ENTITY WITHOUT AN EXPRESSED RECOMMENDATION BY PARKER LAND SURVEYING, LLC.
6. THIS SURVEY IS NULL AND VOID IF SIGNATURE AND EMBOSSED SEAL ARE ABSENT.

CERTIFICATE OF OWNERSHIP AND DEDICATION

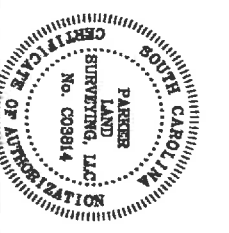
THE UNDERSIGNED HEREBY ACKNOWLEDGE THAT I AM (THE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF DEVELOPMENT/PLAT WITH MY (OUR) FREE CONSENT AND THAT I (WE) DEEDICATE ALL ITEMS AS SPECIFICALLY SHOWN OR INDICATED ON SAID PLAN.

SIGNED	DATE
SIGNED	DATE
SIGNED	DATE

I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FEDERAL SURVEYING ACT AND THE PROVISIONS OF THE STATE OF GEORGIA, AND THAT THE SURVEY IS CORRECT AND ACCURATE TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

PARKER LAND SURVEYING, LLC
 480 QUINN ST. ROOM 100
 GEORGETOWN, GA 30428
 PHONE: (478) 445-4449
 FAX: (478) 445-4449
 WWW: (478) 445-4449

HERBERT F. CANNON
 SURVEYOR
 No. 17824
 STATE OF GEORGIA

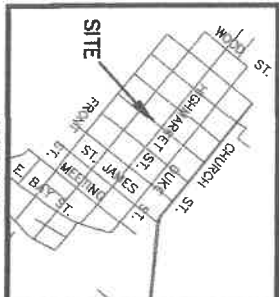
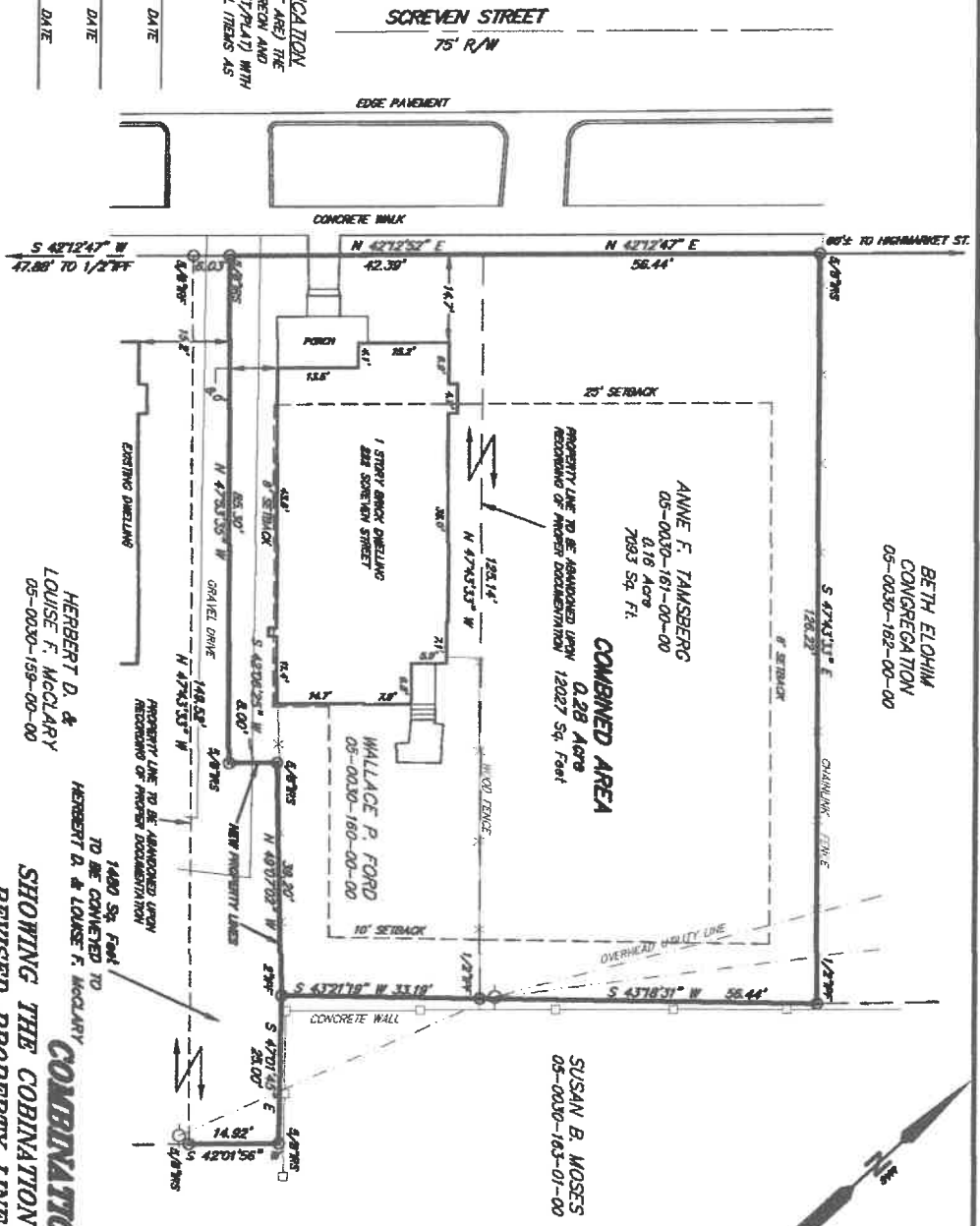


HERBERT D. & LOUISE F. McCLARY
 05-0030-159-00-00

HERBERT D. & LOUISE F. McCLARY
 TO BE CONNECTED TO
 1480 SQ. FEET

COMBINATION PLAT

SHOWING THE COINATION LINE OF 2 PARCELS AND A REVISED PROPERTY LINE BETWEEN 2 PARCELS, BEING PORTIONS OF CITY LOTS 113 AND 114, SURVEYED FOR **CAROLINE PIKE FORD & WALLACE PATE FORD** LOCATED IN THE CITY OF GEORGETOWN, SOUTH CAROLINA DATE: OCTOBER 15, 2019





John Marshall Interior Design

416 Screven Street Georgetown, South Carolina 29440

Document D: Photos of Existing House











CUSTOM ADDITION TO
THE BARR RESIDENCE
 222 SCREVEN ST, GEORGETOWN, SC 29440



GENERAL INFORMATION

OWNER
 CANNON & MARGUERITE BARR
 222 SCREVEN ST.
 GEORGETOWN, SC 29440

ARCHITECT
 WHITNEY NEWMAN ARCHITECTS
 64 EGRET RUN LN, UNIT B3
 PAWLEYS ISLAND, SC 29585

PROPERTY LOCATION
 222 SCREVEN ST.
 GEORGETOWN, SC 29440

PARCEL NO.
 05-0030-160-00-00
 LOTS 113 & 114

FLOOD
 AE 10

ZONING JURISDICTION
 CITY OF GEORGETOWN

APPLICABLE CODES
 2021 INTERNATIONAL RESIDENTIAL CODE

ZONING
 RESIDENTIAL

SETBACKS
 FRONT YARD 25'
 REAR YARD 10'
 SIDE YARD 8'

HEIGHT
 35' UNLESS A OR V FLOOD ZONE THEN 45'
 HEIGHT = 21'-0"

DRAWING SCHEDULE

- T 100 TITLE SHEET
- A 100 ARCHITECTURAL SITE PLAN
- A 101 FLOOR PLAN - EXISTING
- A 102 FLOOR PLAN - PROPOSED
- A 110 ROOF PLAN
- A 201 EXISTING BUILDING ELEVATIONS
- A 202 EXISTING BUILDING ELEVATIONS
- A 203 BUILDING ELEVATIONS
- A 204 BUILDING ELEVATIONS
- A 901 3D VIEWS

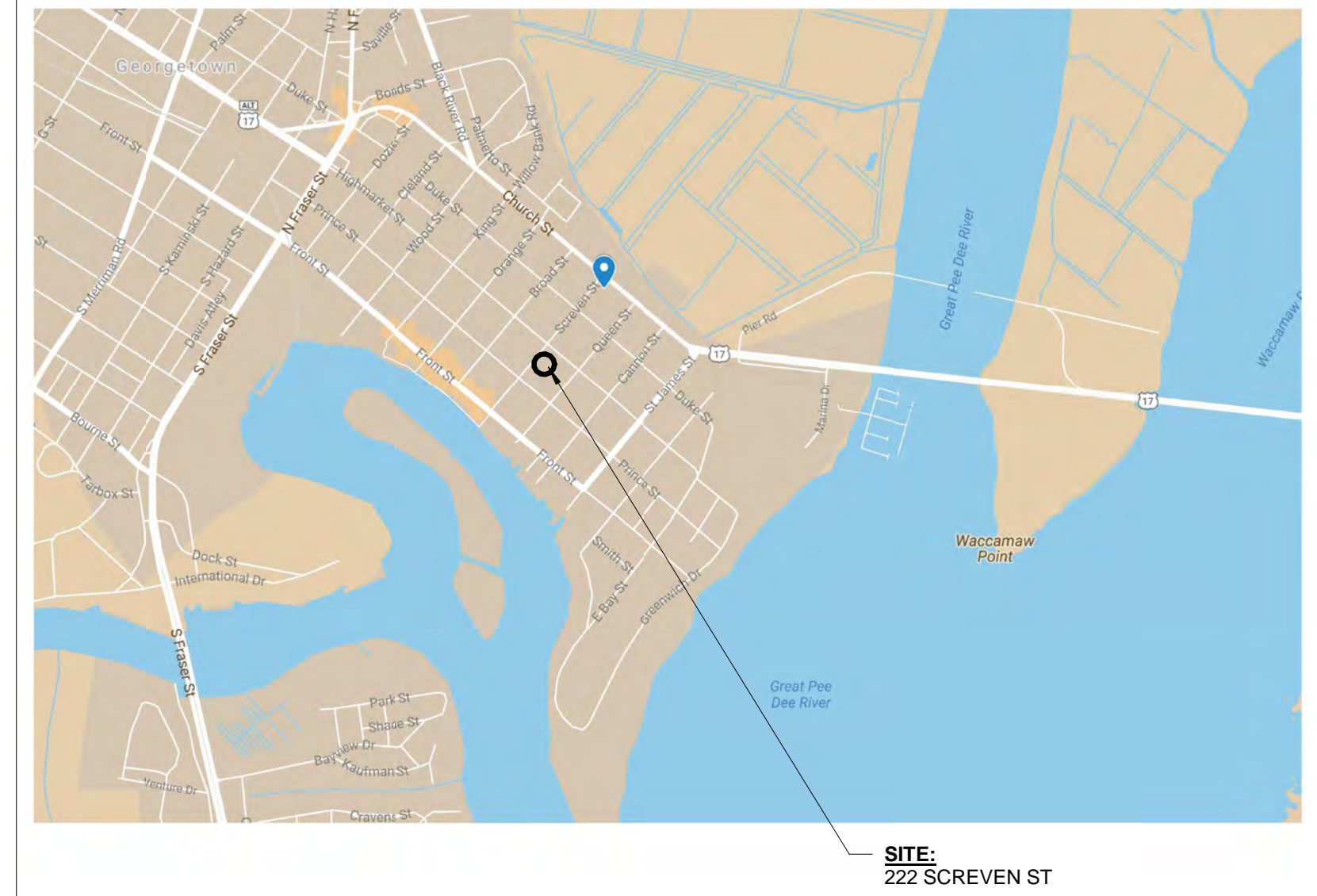
GENERAL NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL REQUIRED PERMITS AND APPROVALS NECESSARY TO INITIATE AND COMPLETE SPECIFIED WORK.
2. CONTRACTOR SHALL COMPLY WITH ALL LOCAL BUILDING CODE REQUIREMENTS.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS. DO NOT SCALE DRAWINGS.
4. CONTRACTOR SHALL COMPLY WITH LOCAL BUILDING CODES, ARB GUIDELINES, AND FEMA TECHNICAL GUIDELINES FOR COASTAL RESIDENTIAL BUILDINGS.
5. CONTRACTOR SHALL INSTALL ALARM SYSTEM & LANDSCAPE LIGHTING- COORDINATE SYSTEMS WITH OWNER. GC SHALL COORDINATE WITH OWNER REGARDING SCOPE OF ALARM SYSTEM.

EXTERIOR COLOR/FINISH SCHEDULE

SEE ARB SUBMITTAL PACKET FOR ALL EXTERIOR FINISHES

LOCATION MAP



FOR REVIEW

SEALS
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BARR RESIDENCE
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 GEORGETOWN, SC
 29440

ARB SUBMITTAL

REVISIONS



6/8/26

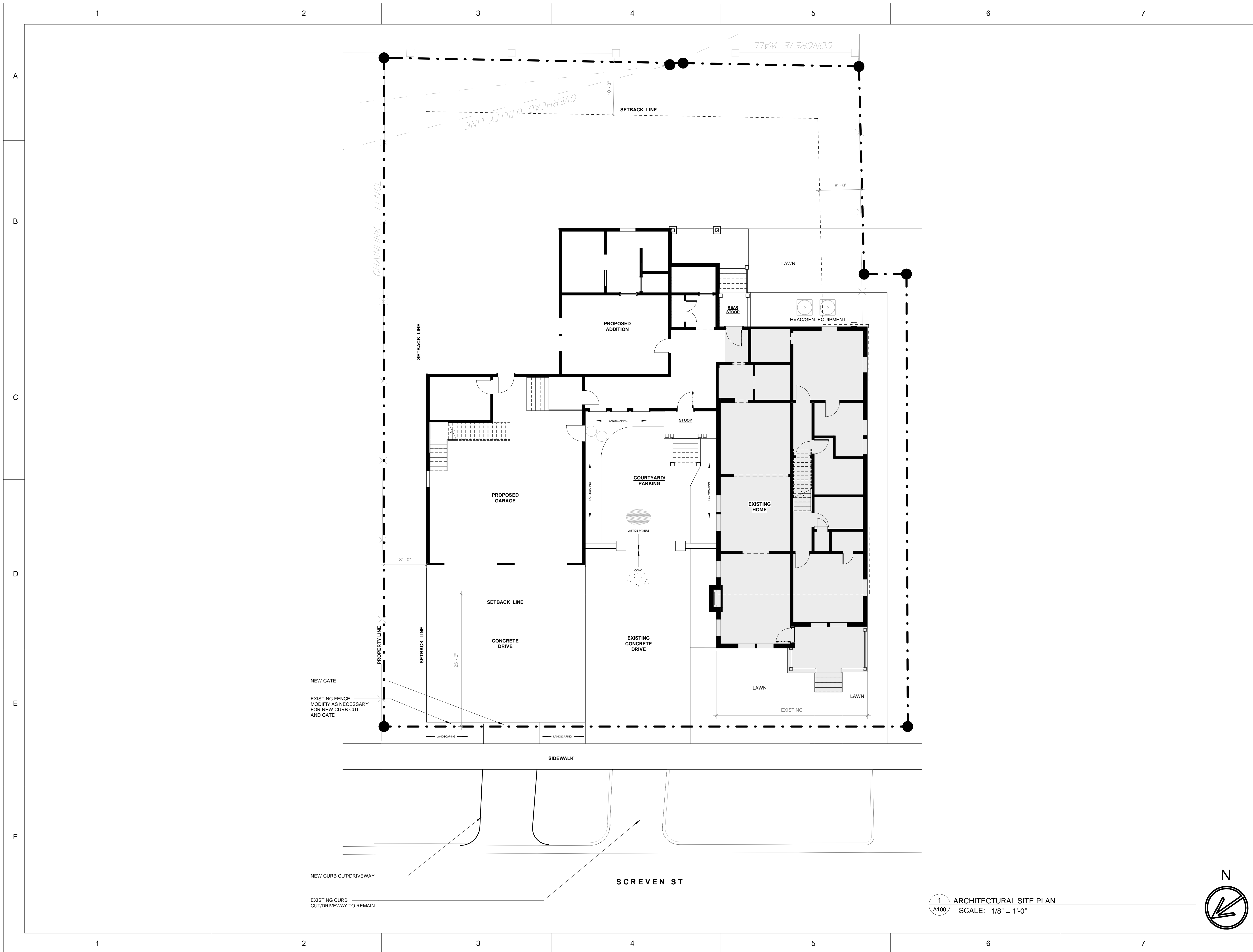
Project No. 26007

Scale

TITLE SHEET

T100

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BARR RESIDENCE

2222 SCREVEN ST.
 9506 TOWNSHIP, SC
 29440

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WHITNEY NEWMAN ARCHITECTS

64 EGRET RUN LANE, UNIT B3
 PAWLEYS ISLAND, SC 29585
 803.316.2881

6/8/26

Project No. 26007

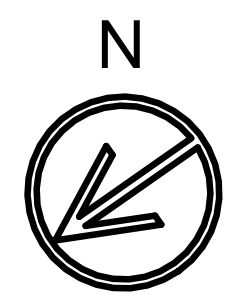
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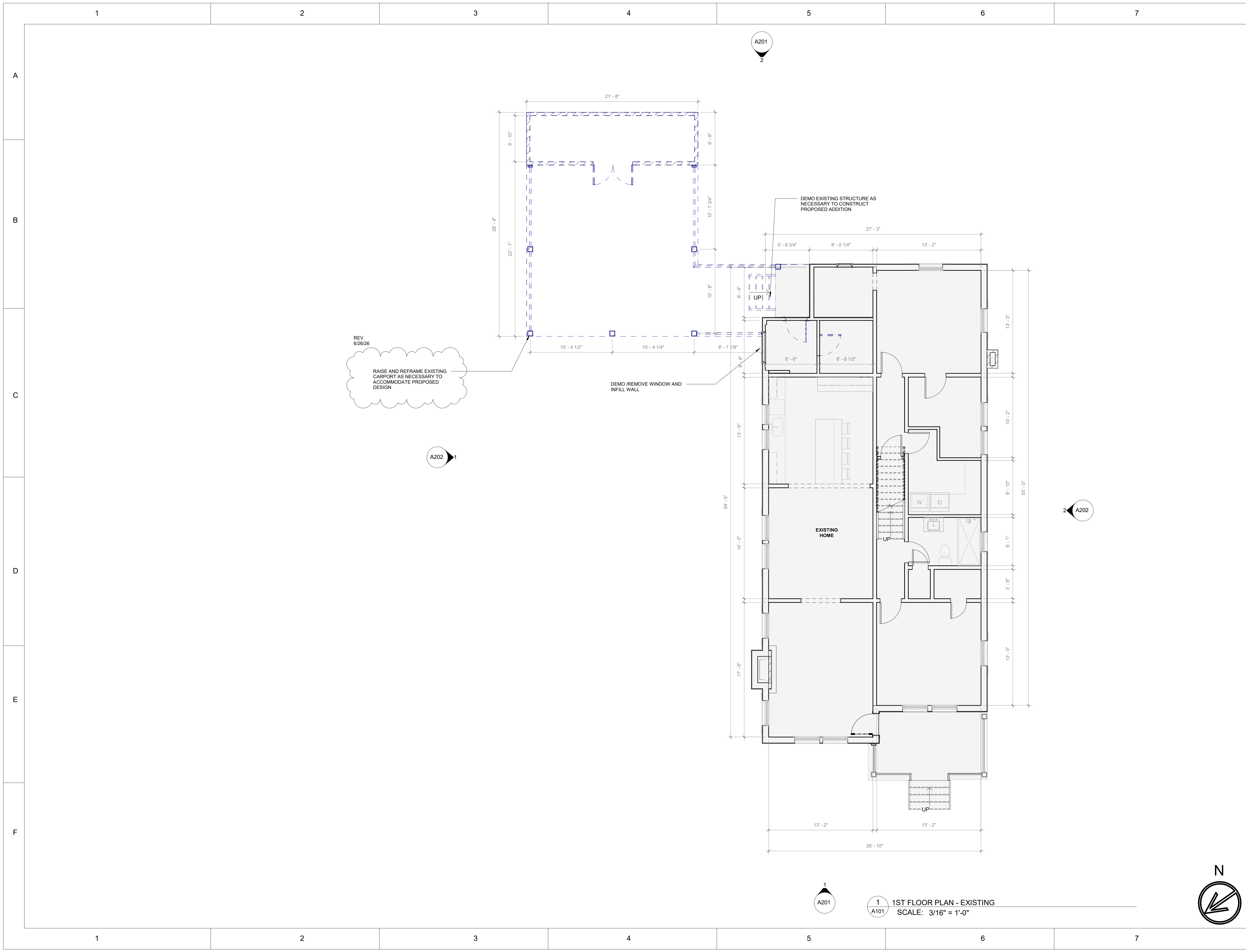
ARCH SITE PLAN

A100

Sheet No. ©2026

1 ARCHITECTURAL SITE PLAN
 A100 SCALE: 1/8" = 1'-0"





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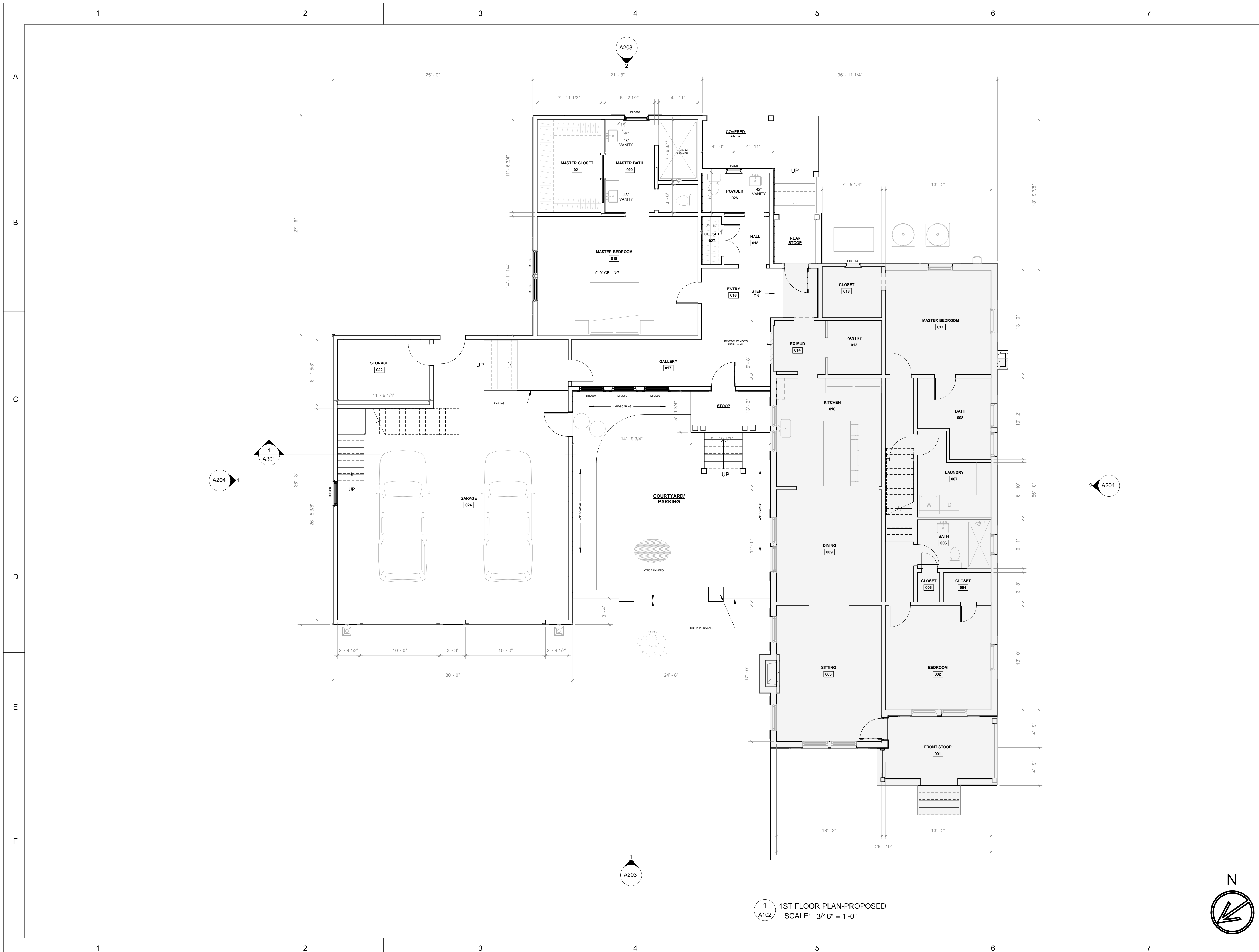
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EXISTING FLOOR PLAN

A101

Sheet No. ©2026

1
 A101 1ST FLOOR PLAN - EXISTING
 SCALE: 3/16" = 1'-0"



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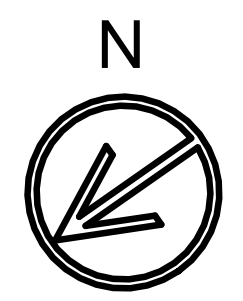
Project No. 26007
 Scale 3/16" = 1'-0"

PROPOSED FLOOR PLAN

A102

Sheet No. ©2026

1 1ST FLOOR PLAN-PROPOSED
 A102 SCALE: 3/16" = 1'-0"



FOR REVIEW

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9506 TOWNSHIP, SC
29440

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6/8/26

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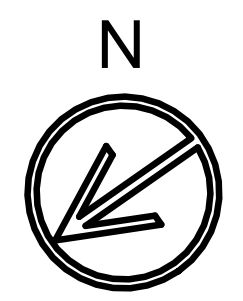
ROOF PLAN

A110

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1 ROOF PLAN
A110 SCALE: 3/16" = 1'-0"



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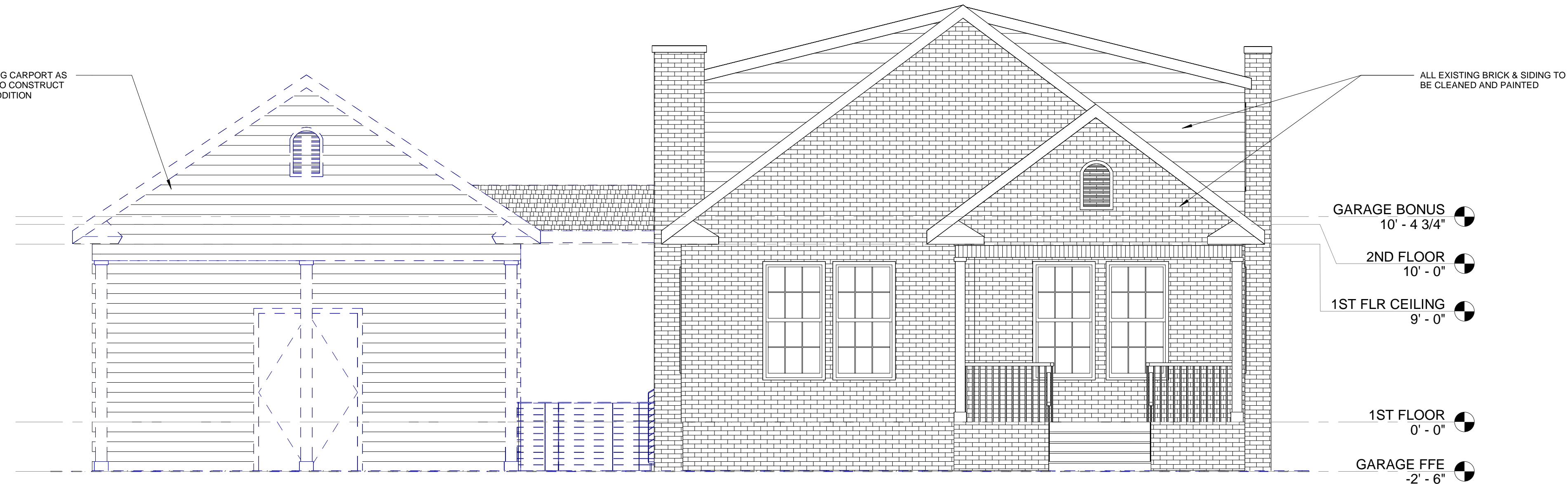
6/8/26

Project No. 26007
Scale 1/4" = 1'-0"

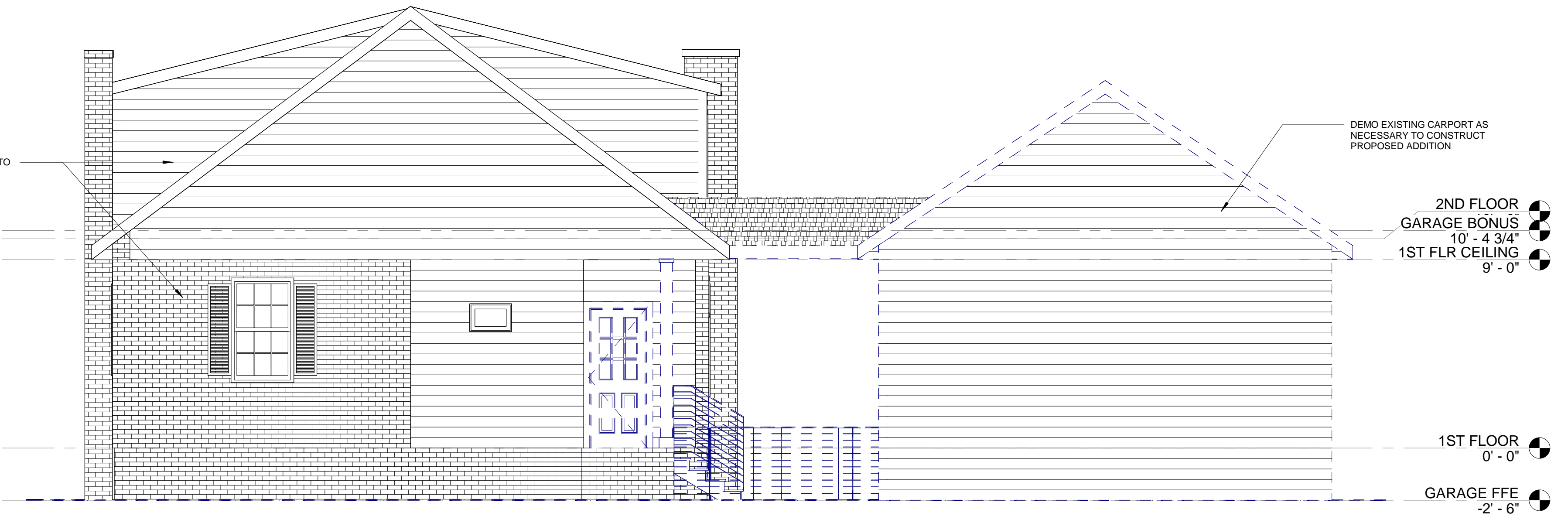
EXISTING BUILDING ELEVATIONS

A201

Sheet No. ©2026



1 EXISTING ELEVATION (WEST)
SCALE: 1/4" = 1'-0"



2 EXISTING ELEVATION (EAST)
SCALE: 1/4" = 1'-0"

FOR REVIEW

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Scale 1/4" = 1'-0"

EXISTING BUILDING ELEVATIONS

A202

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Project No. 26007

Scale 1/4" = 1'-0"

PROPOSED BUILDING ELEVATIONS

A203

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1 FRONT ELEVATION (WEST)
SCALE: 1/4" = 1'-0"

2 REAR ELEVATION (EAST)
SCALE: 1/4" = 1'-0"

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SCURRINGTON, SC
29440

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803.316.2881

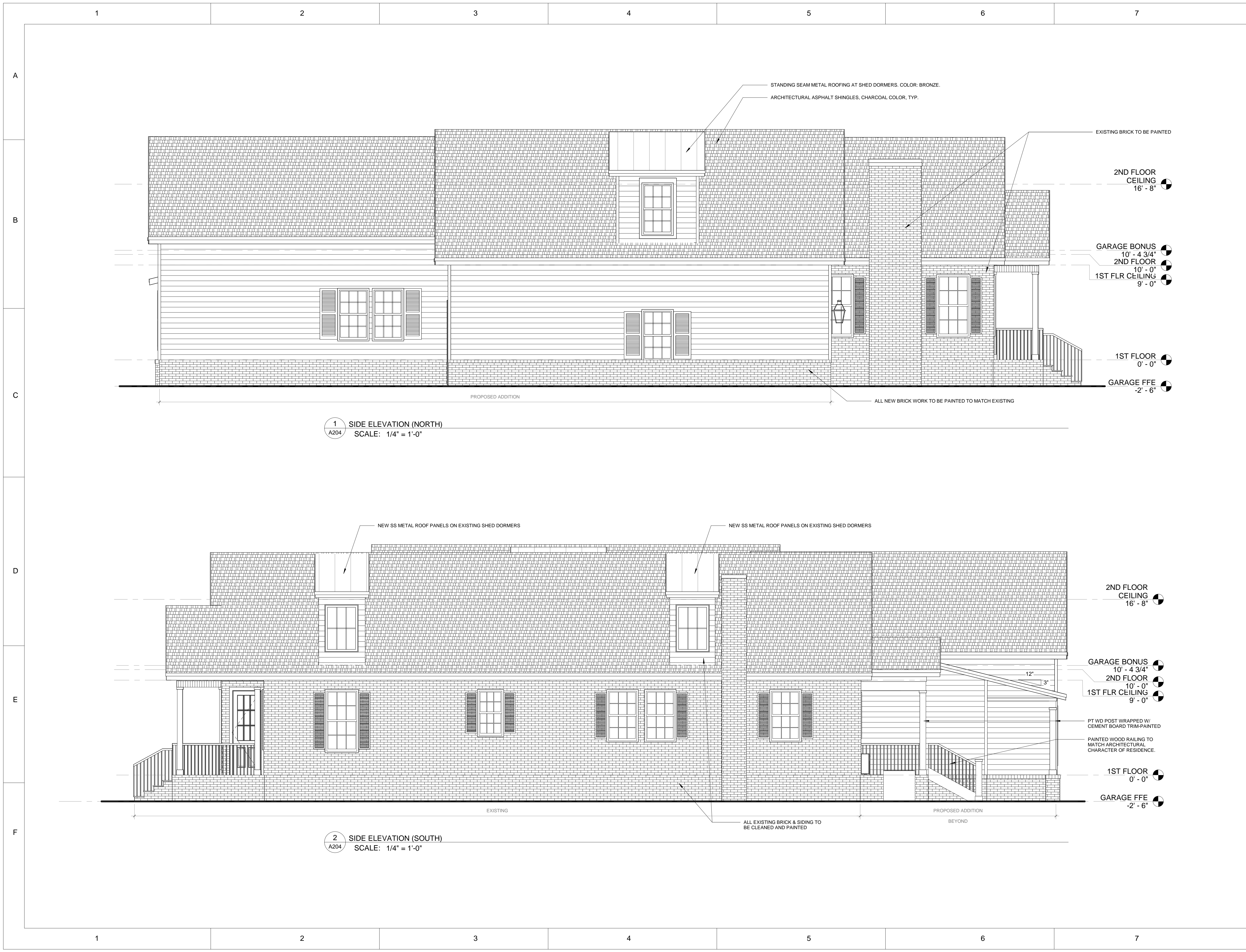
6/8/26

Project No. 26007
Scale 1/4" = 1'-0"

PROPOSED BUILDING ELEVATIONS

A204

Sheet No. ©2026



1 SIDE ELEVATION (NORTH)
A204 SCALE: 1/4" = 1'-0"

2 SIDE ELEVATION (SOUTH)
A204 SCALE: 1/4" = 1'-0"

NOTE:
 3D SKETCHES AND COLOR RENDERINGS ARE INTENDED TO CONVEY DESIGN INTENT. THEY ARE NOT WORKING DRAWINGS AND ARE ARTISTIC REPRESENTATIONS OF THE DESIGN.

FOR REVIEW

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BARR RESIDENCE

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 GEORGETOWN, SC
 29440

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REVISIONS



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Project No. 26007

Scale

3D VIEWS

A901

Sheet No. ©2026



1 3D FRONT EXTERIOR
 A901 SCALE:



2 3D REAR EXTERIOR
 A901 SCALE:



3 EXTERIOR STUDY-AERIAL
 A901 SCALE:



4 3D FRONT CORNER
 A901 SCALE:

MAYOR
JAY DOYLE

CITY ADMINISTRATOR
SCOTT WHITTIER

CITY CLERK
STEPHANIE BUCCIONE



COUNCIL MEMBERS
MAYOR PRO TEMPORE
JESSIE WALKER

BRUCE CARL
ERIN ETHRIDGE
TAMIKA WILLIAMS-OBENG
SHARON MELTON
HOBSON HENRY MILTON

Planning and Community Development
(843) 545-4010

CITY OF GEORGETOWN ARCHITECTURAL REVIEW BOARD

MEETING DATE: July 6, 2026

AGENDA ITEM: ARB-2026-0020 – Request: Addition and enclosure. 209 Cannon Street. TMS# 05-0030-180-00-00. Request to construct a breezeway, including a small bath, and enclosure of a rear deck.

PROPERTY INFORMATION:

Address:	209 Cannon St
Applicant/Property Owner:	Barbara McIntosh
Zoning District:	High Density Residential (R4) <i>(Reference item 1)</i>
Overlay District:	Historic Buildings Overlay District (HD) <i>(Reference item 1)</i>
2040 Comprehensive Plan – FLUM:	Historic District Residential <i>(Reference item 2)</i>
Flood Zone:	AE10 <i>(Reference item 3)</i>
Use of the Property:	Single-family residential dwelling
Contribution to Historic District:	Yes <i>(See attached)</i>

APPLICABLE GUIDELINES:

All applicable guidelines can be found in the City of Georgetown Unified Development Ordinance Article XX: Historic Buildings District on the City of Georgetown website.

2010 Standards for Residential Properties - Materials

2010.1 Overview

2010.101 Policy and Justification

Character defining exterior materials should be preserved and maintained, repaired as needed, and replaced with appropriate materials only if repair is not possible. Materials such as masonry, wood siding, concrete, stucco, stone, and metal all contribute to the historic and architectural character of a building. If historic architectural materials are damaged, replacement should be as limited as possible, retaining as much of the historic fabric as possible. In-kind materials should be used when replacement is necessary.

2010.102 Standards

- (1)** If material replacement in-kind is not feasible or practical, the ARB may consider the use of appropriate alternative materials that match the original as closely as possible in texture, design, and overall appearance.

- (2) Replace architectural materials which match the original as closely as possible in form, scale, and design.
- (3) Do not remove or alter original architectural materials from the building.
- (4) Do not add non-historic materials to a building. Added materials to a property must be accurately based on physical, pictorial, or historical evidence in scale, location, proportions, form, and detailing.
- (5) Do not cover or conceal original materials with synthetic materials such as vinyl, aluminum, exterior insulation finishing systems (EIFS), or similar materials.
- (6) The use of epoxies for wood repair and special masonry repair components may be appropriate.

2010.2 Brickwork and Masonry

2010.201 Policy and Justification

The key to historic brick preservation is to keep out water and continue to use a soft mortar when repair is needed. Abrasive cleaning such as sandblasting erodes the skin of the brick and will not be approved. The use of hard mortars like Portland cement can cause the brick to crack and break when it can't expand and contract with the hot and cold weather. Low pressure water cleaning and the use of soft mortar mixes are best for Georgetown's brick buildings. Do not paint masonry which was previously unpainted.

2010.202 Standards

- (1) Repair and repoint masonry walls and features using the historic brick and an appropriate mortar mix. If the original composition can't be determined, use an approvable historic compound such as one part lime and two parts sand.
- (2) Clean masonry walls or features with detergent cleaners and using water pressure not exceeding 600 pounds per square inch.
- (3) Remove paint from masonry walls and features with appropriate chemical agents and professional contractors. A test patch should be conducted first to ensure that no etching or staining of the brick will occur.
- (4) No abrasive cleaning such as sandblasting will be permitted in the historic district.
- (5) Do not cover masonry with silicone-based water sealants. Water sealants can have the affect of trapping water on the interior of the building and not allow the brick to expand and contract properly.
- (6) Masonry that has never been painted should not be painted unless the brick and mortar is extremely mismatched from earlier repairs or patching. Painting previously sandblasted brick or brick in poor condition to provide a sealing coat may be considered.
- (7) Do not apply stucco to brickwork unless stucco was a historic application that has become deteriorated.

- (8) For masonry needing repair, hand tools are recommended over electric power saws.
- (9) Missing bricks should be replaced with bricks to match as closely as possible. Salvage companies may have molded or decorative bricks to match those missing on a dwelling.

2010.3 Concrete and Stucco

2010.301 Policy and Justification

Original stucco and concrete surfaces should be repaired as needed and maintained. The original texture of the stucco and concrete should be replicated when repair or replacement is needed. The replacement of stucco with an Exterior Insulation Finishing System (EIFS) is not appropriate for historic dwellings since the material does not resemble stucco and is prone to water damage.

2010.302 Standards

- (1) Repair concrete walls and features using compatible materials and a stucco mix which is similar in strength, composition, texture, and color.
- (2) Clean stucco and concrete using the most gentle means possible such as low-pressure water wash and a soft bristle brush.
- (3) Remove paint from stucco and concrete with appropriate chemical agents. A test patch should be conducted first to ensure that no etching or staining of the wall surfaces will occur.
- (4) Painting previously painted stucco and concrete walls and features may be appropriate.
- (5) Do not remove historic stucco surfaces from masonry walls unless more than 50 percent of the stucco has lost its bond with the masonry behind it.
- (6) Original rock-faced or textured concrete block should be repaired with materials to match as closely as possible in dimensions, design, and texture.
- (7) The replacement of stucco with a surface of Exterior Insulation Finishing System (EIFS) is not approvable in the historic district.

2010.4 Siding

2010.401 Policy and Justification

Original wood siding materials should be preserved and maintained. Removal and replacement of original wood siding materials will not be approved unless it can be demonstrated that the siding is beyond repair. If replacement is required, it should be with materials to match the original as closely as possible. For contributing buildings, alternative materials may be considered for nonvisible elevations. For non-contributing buildings, alternative materials may be considered for all elevations. The concealment of original wood siding materials with vinyl, aluminum, or other synthetic sidings is not approvable. These materials do not successfully imitate the appearance of historic original wood siding. Synthetic materials also are not “breathable” and may cause condensation and damage to the original siding beneath. Asbestos shingle siding is not hazardous as long as it is kept painted and encapsulated. If an owner is

concerned about the potential hazard of the asbestos shingles they may be removed and replaced with appropriate alternative materials which match the original shingles as closely as possible.

2010.402 Standards

- (1) Repair historic wood siding and wood elements with in-kind materials.
- (2) Replace historic wood siding and wood elements with in-kind materials.
- (3) Repair or replace non-historic siding materials with similar or compatible materials.
- (4) Wood siding and wood details original to a dwelling should be repaired rather than replaced. Original wood siding should be replaced only if it can be demonstrated that the siding is beyond repair.
- (5) Replacement of original wood siding with alternative materials may be considered if consistent with the ARB's overall approach to alternative materials outlined in Section **Error! Reference source not found.**
- (6) Wood shingles should be repaired rather than replaced. If replacement is necessary due to deterioration, the new shingles should be in-kind and should match original in material, appearance, visual texture and profile.
- (7) Wood siding, shingles, and other exterior wood materials shall not be concealed beneath artificial or synthetic sidings. The application of materials such as vinyl or aluminum over original wood siding is not approvable.
- (8) Wood siding should be maintained through regular painting, but when paint removal becomes necessary, it should be done by scraping, heat (heat guns and plates), or chemical methods, never through sandblasting or other abrasive methods. The use of circular grinders or sanders should not be used to remove paint.
- (9) Asbestos shingles which are original to a dwelling should be kept stained or painted. If individual shingles are missing or cracked, matching new shingles of cementitious material or fiberglass are appropriate for replacement or repair.
- (10) Asbestos shingles which conceal the original wood siding exterior may be removed and the original wood siding restored. Removal will require qualified professionals with disposal meeting hazardous material requirements.

2011 Standards for Residential Properties – Details

2011.1 Architectural Features

2011.101 Policy and Justification

Character defining features and details should be preserved and maintained, repaired as needed, and replaced with appropriate materials only if repair is not possible. Ornamentation such as eave brackets, dentils, cornices, moldings, trim work, and shingles all contribute to the historic and architectural character of a building. If historic architectural features are damaged,

replacement should be as limited as possible, retaining as much of the historic fabric as possible. In-kind materials should be used when replacement is necessary.

2011.102 Standards

- (1) Repair in-kind architectural features with materials, form, scale, and design which match the original.
- (2) Replace architectural features which match the original as closely as possible in materials, form, scale, and design.
- (3) Do not remove or alter original architectural features or ornamentation from the dwelling.
- (4) Do not add inauthentic details to the dwelling. Added architectural features to a property must be accurately based on physical, pictorial, or historical evidence in materials, scale, location, proportions, form, and detailing.
- (5) Do not cover or conceal architectural features with synthetic materials such as vinyl, aluminum, exterior insulation finishing systems (EIFS), or similar materials.
- (6) Alternative materials may be considered if deterioration is ongoing due to flawed architectural design or for non-contributing structures.

2011.4 Doors and Entrances

2011.401 Policy and Justification

Preserve historic façade entrance elements including original doors, surrounds, sidelights, and transoms whenever possible. If historic doors or entrance components are damaged, replacement should be as limited as possible. Use in-kind materials when replacement is necessary. The addition of wood screen doors is appropriate as long as the framing is minimal and the historic door can be viewed behind it. Retaining original entrances and their decorative elements is an important part of preserving a dwelling's character.

The installation of security doors on primary facades may be appropriate if they have minimal framework, are of full-view design and allow the visibility of the historic door behind it. Security doors which have extensive frame or grill work should only be added to entrances at rear or non-readily visible side elevations. Storm doors are also appropriate for front facades if they are full-view design and allow the visibility of the historic door behind it. Storm doors should be of baked-enamel aluminum or wood and in a color that blends with the door frame and is as unobtrusive as possible

2011.402 Standards

- (1) Repair original doors and entrance elements with materials which match the existing.
- (2) Where repair is not possible, replace with a new door or entrance elements in-kind with similar materials, profile, and dimensions.
- (3) Do not remove or alter historic entrances, their doors, surrounds, sidelights, transoms, or detailing. Repair and reuse original hardware as long as possible.

- (4) Do not replace existing door trim or surrounds with trim that represents a different house style or design.
- (5) Where original doors have been removed, replace them with an appropriately styled door for the dwelling. The new door should be based on doors of similar age and architectural style in the district. If the original design is unknown, a secondary entrance may contain an original door that can be moved to the main entrance. Salvage companies may also have historic doors available.
- (6) The addition of a new entrance to meet life and safety codes should be sited at rear or side elevations that are not readily visible.
- (7) Entrances on primary facades may have added screen doors of appropriate design. Screen doors should be appropriate to the style of the house.
- (8) The design of added screen doors should have minimal framing (i.e., full-view or two panel) to allow the viewing of the original door behind it.
- (9) Repair security or storm doors with materials that match the existing.
- (10) Install a storm door on the primary façade entrance only if full-view design, of baked enamel aluminum or wood, and in a color compatible with the door frame and dwelling.
- (11) The use of anodized aluminum for security and storm doors is not appropriate for primary entrances on main façades but may be added at rear or side elevations not readily visible.
- (12) Replace or install a security door on a rear entrance or side entrance not readily visible.

2011.5 Foundations

2011.501 Policy and Justification

The pattern, materials, and dimensions of original foundations contribute to the historic character of a building and help convey the style and period of the building. Proper maintenance is key to preservation, and repair should occur promptly when deterioration is observed. In cases where materials are beyond repair, replace them with material matching the original. Original foundations should not be concealed beneath added materials.

2011.502 Standards

- (1) Repair masonry foundations with materials to match the original.
- (2) Replace masonry features with materials to match the original as closely as possible.
- (3) Repaint previously painted masonry foundations.
- (4) Repoint masonry with an appropriate mortar mix which closely resembles the original mortar composition.
- (5) Repair frame lattice panels between brick piers and replace lattice panels in keeping with traditional designs.

- (6) Foundations of brick piers should be left open or be filled in with traditional materials, such as wood lattice framed panels or brick lattice panels. Frame lattice panels should be set back from the fronts of the piers by at least 2 inches. If brick lattice panels are used, the brick should be similar in color, texture and mortar joint profile as the original brick piers. Where wood lattice panels contact dirt at base, synthetic lattice materials may be considered.
- (7) Do not conceal or enclose foundations with concrete block, plywood panels, corrugated metal, or wood shingles.
- (8) Foundations should not be painted or stuccoed, but these treatments may be considered if the brick and/or mortar is mismatched or inappropriately repaired.

2011.7 Lighting

2011.701 Policy and Justification

Light fixtures which are original to a 20th century dwelling should be preserved and maintained or repaired as needed. If repair is no longer possible, replacement with a new fixture in keeping with the dwelling's style is appropriate. New light fixtures should be appropriate for the style and period of the dwelling to which they are added. Lighting to accent sidewalks or front yards is appropriate.

2011.702 Standards

- (1) Replace original light fixtures with new fixtures which complement the style of the dwelling or are simple in design.
- (2) Light fixtures original to a dwelling should be preserved and maintained or repaired with materials to match as closely as possible.
- (3) Light fixtures introduced to the exterior of a dwelling should be appropriate for the style and era of the house for dwellings built in the 18th and 19th centuries, light fixtures based on Colonial-era lamps are appropriate. Light fixtures should be added only at traditional locations such as at porch ceilings and flanking entrances.
- (4) Light fixture installed for security, such as flood lights, should be mounted on rear or sides of buildings rather than on the front. Floodlights mounted in yards to illuminate the front of the house are discouraged but acceptable.
- (5) Light fixtures for sidewalks and front yards should be of small footlights or post-mounted fixtures compatible with the primary structure.

2011.11 Roofs

2011.1101 Policy and Justification

Original roof forms such as gable or hipped should be preserved and maintained. If additions to roofs are desired such as new dormers or skylights, these should be added at rear or side rooflines that are not readily visible. Historic roof materials such as metal standing seam and clay tile should be repaired and preserved. If repair is no longer practical, replacement with approved metal, asphalt or fiberglass roof materials is appropriate. When replacing metal

roofing the pattern must match that of the existing roof. Alternative roofing materials may be considered. Any addition to a roof such as solar panels, ventilators, and skylights requires ARB review.

2011.1102 Standards

- (1) Roofs should be preserved in their original size, shape, and pitch, with original features (such as cresting, chimneys, finials, cupolas, etc.), and, if possible, with original roof materials.
- (2) New metal roofs should be in keeping with traditional standing seam designs and dimensions with proper spacing and crimping. Other profiles are not appropriate for contributing buildings and commercial metal roofing profiles are not appropriate for residential buildings.
- (3) Roofs should not have new dormers introduced on front façades but may have dormers added on rear façades or secondary façades which are not readily visible and if in keeping with the character and scale of the structure.
- (4) The use of reflective roof shingles may be considered if the shingles are not shiny and are in shades of brown and other medium-dark colors. Light gray and white roofs are not appropriate for the district.
- (5) The installation of alternative materials instead of original roof materials may be considered.
- (6) Most of Georgetown's 18th and 19th century dwellings had roof surfaces of wood shingles. If a property owner wishes to reinstall a new wood shingle roof, the design should be based on historic shingle dimensions and texture. Shingles should be laid in a horizontal row with the bottom edge either in alignment with the adjacent shingle or staggered to match the historic condition.
- (7) Additions such as skylights, balconies, or roof ventilators should not be added to dwellings on front or readily visible side elevations.
- (8) Skylights should be placed at rear roof lines or behind gables and dormers and not be readily visible. Skylights should be as minimal in design as possible—flat or flush is best, but convex and “bubble” designs that are low-profile may be considered.
- (9) Solar panels on roofs should only be located on rear or side elevation rooflines which are not visible from the public right-of-way.

2011.12 Staircases and Steps

2011.1201 Policy and Justification

Because of their exposure to the elements most of the wood staircases built prior to 1900 have been rebuilt. In many cases the original wood steps have been replaced with steps of brick or concrete. Replacement of deteriorated wood steps with wood is preferable to replacement with brick, pre-cast concrete, or wrought iron.

2011.1202 Standards

- (1) Replace non-historic wood, brick, or concrete staircases and steps with in-kind or compatible materials.
- (2) Add staircases and steps on rear elevations and side elevations not readily visible.
- (3) Staircases and steps original to a dwelling should be repaired and retained. Wood, brick, and concrete steps should be repaired with materials to match the original.
- (4) The installation of brick staircases and steps to replace wood staircases and steps on primary elevations is discouraged but will be considered. The use of pre-cast concrete staircases and steps is not appropriate on contributing houses, or on primary elevations of non-contributing buildings and new dwellings.
- (5) Where required by codes, new stairs should be designed with “graspable” handrails which are no larger than 1-1/2 inch in diameter. These handrails can be attached to existing wood staircases when required for codes.

2011.13 Windows and Shutters

2011.1301 Policy and Justification

Windows on historic dwellings should be maintained or repaired to match the original design. Approval to remove original wood sash or steel casement windows will only be granted if the windows can be demonstrated to be beyond repair. If windows are deteriorated beyond repair, the installation of new wood or steel windows to match the original designs is preferred. Alternative materials may be considered. Original window openings on primary facades or readily visible side elevations should not be covered or concealed. Original window openings should not be enclosed for the addition of smaller windows. New window openings should not be added on the fronts of dwellings but may be added at the rear or side elevations if not readily visible.

Window shutters have been traditional features on houses in Georgetown in both louvered and paneled wood designs and their continued use is encouraged. Historic wood shutters should be preserved and maintained. New shutters may be added if they are of wood, of traditional design and with dimensions which match the window opening. The installation of storm windows can help in lowering energy costs and are appropriate for Georgetown’s historic dwellings.

Storm windows should be full-view design or have the central meeting rail at the same location as the historic window behind it. The installation of screen panels is also appropriate as long as they retain the open appearance and the visibility of the windows behind them. The installation of visible security bars on the exterior of windows is not appropriate on primary facades. Window bars may be added on the exterior of windows on rear or side elevations not readily visible.

2011.1302 Standards

- (1) Repair a historic or non-historic window with in-kind materials of similar design.

- (2)** Original windows should be preserved in their original location, size, and design and with their original materials and numbers of panes.
- (3)** Windows should be repaired rather than replaced. Window replacement will only be approved if it can be demonstrated that the historic windows are beyond repair.
- (4)** If replacement of original or historic windows is demonstrated to be necessary, the replacement windows should be in-kind.
- (5)** Windows of alternative materials may be considered.
- (6)** New window openings should not be added to primary façades or to readily visible side elevations.
- (7)** Windows of steel or other metal designs should be preserved and maintained or replaced with new metal windows which are similar in appearance and materials.
- (8)** Replacement windows should not have snap-on, flush, or simulated divided muntin's. Muntin's sandwiched between layers of glass, snap-on muntin's, and surface-applied muntin's are not appropriate and shall not be approved.
- (9)** Clear glass must be used in windows on the primary and readily visible side elevations. Do not use reflective, tinted, patterned, or frosted glass in windows. The addition of these glass materials may be used on rear elevations or those not readily visible.
- (10)** If an interior dropped ceiling is lower than the top of the window, the ceiling must be stepped back from the window to not obscure the top of the window from outside view.
- (11)** Shutters that are original to the dwelling should be preserved and maintained. If not possible, replace historic wood shutters with in-kind materials or similar design.
- (12)** Add wood shutters based on traditional designs and that fit the window opening.
- (13)** Add screen panels with wood or metal frames that are full-view design and allow the visibility of the historic window behind it.
- (14)** Add storm windows of wood or metal frames which are full-view design or match the meeting rail of the window behind it. Storm windows should be of anodized or baked enamel surfaces and not unfinished metal.
- (15)** Shutters should not be added to contributing buildings unless historically appropriate to that style house in Georgetown or there is physical or photographic evidence that shutters were original to the dwelling. Adding shutters to non-contributing and new buildings will be considered.
- (16)** New shutters shall be of louvered or paneled wood construction or another documented historical style appropriate for that style of the building in Georgetown. They must be either working shutters or shutters that appear to be working shutters with appropriate hardware. All shutters shall be appropriately sized to fit the window opening so that if working and closed, they would cover the window opening.

- (17) Shutters should not be added to banks of multiple windows.
- (18) The application of vinyl or metal shutters on primary elevations will not be approved. These types of shutters may be considered for rear and side elevations not readily visible.
- (19) Window screens should be framed in wood or baked-on enamel aluminum and fit within the window frames and not overlap the frames.
- (20) Security bars shall not be applied to any elevation of contributing buildings or to primary or other readily visible elevations of non-contributing.

2012 Standards for Residential Properties – Setting

2012.3 Garages, Sheds, Outbuildings, and Ancillary Outdoor Structures

2012.301 Policy and Justification

Outbuildings are part of the historical and architectural significance of the historic district and reflect the cultural and technological changes over time. Historic outbuildings should be preserved and maintained. They should be repaired with materials and details to match the original. Georgetown has a tradition of ancillary and support buildings constructed in the rear yard of dwellings. These types of structures are appropriate if they are compatible with the primary dwelling in design and materials and are sited at traditional locations at the rear of the dwelling and not readily visible.

The general approach to new construction for outbuildings is to be secondary in scale and compatible with adjacent dwellings. Compatible means reinforcing typical features that the primary dwelling on the lot may have as well as other dwellings and outbuildings along the block. Architects and property owners are encouraged to design outbuildings compatible with the context of primary dwellings on the lot and adjacent historic dwellings. Replications or reproductions of historic designs are also appropriate and acceptable for Georgetown's historic residential areas. The erection of ancillary outdoor features may be appropriate if they are sited in rear or side yards not readily visible from the street and adequately screened.

2012.302 Standards

- (1) Repair or replace original materials with in-kind materials to match.
- (2) Original garages, carriage houses, sheds, and outbuildings that retain their historic architectural character should be preserved and maintained.
- (3) Original outbuildings should be repaired with materials to match the original. If original garage doors on contributing buildings are missing or damaged, sectional overhead roll-up doors and side-hinged doors of wood in historic designs are appropriate. For non-contributing buildings these designs are also recommended, and doors of metal, composite, and other alternative materials will be considered.
- (4) Replace damaged or deteriorated sections of historic garages and accessory structures, only if deteriorated beyond repair and with in-kind materials to match the original. Where possible, replace only the damaged or deteriorated portions rather than the entire feature.

- (5)** Outbuildings were often built without gutters and those of frame construction may have deterioration of the sills and lower siding materials. If this is the case, consider only repairing these damaged areas rather than replacing the entire structure. Original foundation materials should be preserved and maintained.
- (6)** New garages and outbuildings should follow the historic setback for an outbuilding or garage on the property or patterns of other garages and outbuildings in the streetscape or historic district.
- (7)** Reconstruction of a missing or replacement garage or outbuilding must be based on accurate evidence of the original configuration, form, massing, style, placement, and detail and confirmed with photographs or other documentation of the original building.
- (8)** The design of new garages and outbuildings must be secondary to that of the primary historic dwelling. Under no circumstance should any outbuilding be larger than the primary structure.
- (9)** New garages and outbuildings should be compatible in size, scale, proportion, spacing, texture, setbacks, height, materials, color, and detail to the primary dwelling and should relate to similar secondary buildings along the block.
- (10)** Materials used for new garages and outbuildings should reflect historical development of the property. Materials used at exterior façades of garages and outbuildings were often different (and less costly) than that of the main dwelling. Materials that are appropriate for new secondary buildings include wood or brick. If frame buildings are constructed, alternative materials may be considered if they resemble traditional wood siding in texture, dimension, and overall appearance. Materials such as T1-11 siding are not sufficiently durable for exterior use and are not appropriate.
- (11)** New outbuildings should be added in traditional locations such as along rear or side lot lines or in rear yards not readily visible from the public right-of-way.
- (12)** The spacing and size of window and door openings in a new garage or outbuilding should be consistent with the historical development of the property and similar to their historic counterparts within the streetscape or historic district, as should the proportion of window to wall space.
- (13)** Metal garage doors with a paneled design may be appropriate. These doors can be used on garages that are located at the back of the lot and are minimally visible from the street or public right-of-way. If the garage and garage doors are highly visible from a public street or located on a corner lot, install solid wood or wood garage doors with a paneled design.
- (14)** At double garages, two single garage doors rather than one larger, double door shall be installed. This will maintain the scale and rhythm of older structures, making a two-car garage seem smaller and more compatible with the primary dwelling.
- (15)** Prefabricated storage units less than six feet in height may be appropriate for back yards if not visible from the public right-of-way. Prefabricated carports and sheds are not permitted.

- (16) The appearance and location of a new outbuilding should be based on the appearance of the historic outbuilding if such existed. Use historic photographs and other documentation such as Sanborn Fire Insurance maps for guidance as to size and location of a previous outbuilding on the property.
- (17) If documentation of a historical outbuilding at the site is not available, the size, design, and location of a new outbuilding should be in keeping with other outbuildings in the block and historic district and complement the design of the main structure.
- (18) If mechanical equipment, skylights, or solar panels are placed on the roof of a garage or other outbuilding, they should be set back or screened so that they are not readily visible from the public right-of-way.
- (19) The installation or erection of ancillary outdoor features will be considered if located in rear or side yards, of a scale appropriate for the location, built with materials traditionally found in the historic district such as wood or brick, and such features complement the architectural design of the dwelling or main building and other improvements on the property and adjacent properties. In some instances, a readily visible ancillary outdoor feature may be required to be adequately screened to lessen its visual impact.
- (20) New carports should be located at the rear of dwellings and not visible. Carport designs with flat roofs and metal support columns and are not compatible with historic building designs. Carports imitative of porte-cocheres (drive-thru wings on historic dwellings) with wood or brick columns, flat roofs, and wood construction may be added to sides of dwellings visible from the street. Carports should be reflective of the architecture of the house and not detract from the dwelling's original design.

2013 Standards for Residential Properties – New Construction

2013.1 Additions

2013.101 Policy and Justification

Additions to contributing dwellings are permissible as long as they minimally affect historic materials, are not readily visible, are secondary in size and scale to the footprint of the original dwelling and maintain the dominance of the original structure. The new addition should be distinguishable from the character of the original dwelling while blending with the overall design. An addition should be designed and constructed in a manner that would allow its potential removal in the future with minimal effect to the historic structure. For non-contributing buildings there may be additional flexibility in the design and size of rear additions.

2013.102 Standards

- (1) Additions should be appropriate to the architectural style of the existing building and must be blend with those characteristics of the subject building and adjacent buildings and streetscapes.
- (2) New additions should be constructed on the rear elevation or on a non-character-defining elevation of an existing building and not readily visible. Character-defining features of

buildings should not be radically changed, obscured, damaged, or destroyed by an addition. The existing historic building fabric should not be damaged by the installation of a new addition.

- (3) The design of an addition to a historic building must be distinguishable from the original historic building.
- (4) The connections between an addition and the historic building should be visibly discernible. A transition between the new addition and the historic structure should be identifiable and maintained.
- (5) For additions and/or alterations to the primary building façade, the main entrance should be oriented towards the street.
- (6) Additions shall respect the scale and massing of neighboring historic buildings. Large additions may be required to be divided into smaller components similar in scale to the original building and neighboring historic buildings.
- (7) Additions should be designed to respect the established front and side yard setbacks present in the overlay district.

APPLICABLE UDO GUIDELINES:

All applicable guidelines can be found in the City of Georgetown Unified Development Ordinance (UDO) on the City of Georgetown website.

500 Area, Yard, and Height Requirements Table.

District	MINIMUM LOT SIZE		Lot Width at Building Line	MINIMUM SETBACK FROM PROPERTY LINE				Maximum Height of Structure
	Area in Square Feet	Area in Acres		Front	Side	Rear	Principal Street Side on Corner Lot [S11]	
R1 Residential	10,000	--	70	30[508]	10	20	15	35
R2 Residential	8,000[501.1]	--	60[502.1]	30[508]	10	20	15	35
R3 Residential	8,000 [501.2,509]	--	60[502.2]	30[508]	8	10	12	35
R4 Residential	6,000 [501.2,510.2] 10,000 (MF)[501.2, 510.2]	--	60[502.3]	25[508] 25[508]	8 10	10 15	12 15	35
R5 Residential	5,000 [501.3]	--	50	20[508]	7[500]	10	10 S	35

802 Accessory Use, Building, Structure.

No accessory building, structure or use in any district shall be established, erected, or maintained without a principal use or without a permit. Accessory uses, buildings and structures shall not be located forward of the principal structure.

802.1 General Provisions.

All zoning districts shall limit cumulative area of accessory uses, buildings and structures to 10% of the gross square footage of the parcel. A site plan shall be approved by the Zoning Administrator and a permit shall be required.

802.2 Residential Properties.

Each accessory use, building or structure shall be separated at least six (6) feet from any other building, structure, use or property line.

802.201 Accessory uses, buildings, and structures in residential zoning districts shall be limited to three (3) per parcel and shall be no more than 20 feet in height.

802.202 The establishment of any accessory building or structure shall not result in accessory uses, buildings, and structures exceeding 2,500 square feet in total.

802.203 No one accessory use, building, or structure in a residential zoning district shall exceed the size of the primary accessory use, building or structure.

802.204 Additions attached to the primary structure via a conditioned walkway, as well as attached decks, carports and garages (open-air or enclosed) shall not be considered accessory structures and must comply with setback requirements as defined in **Error! Reference source not found.** f or the applicable zoning district.

802.205 Buildings or structures either entirely detached or attached via a non-conditioned walkway are to be considered accessory structures.

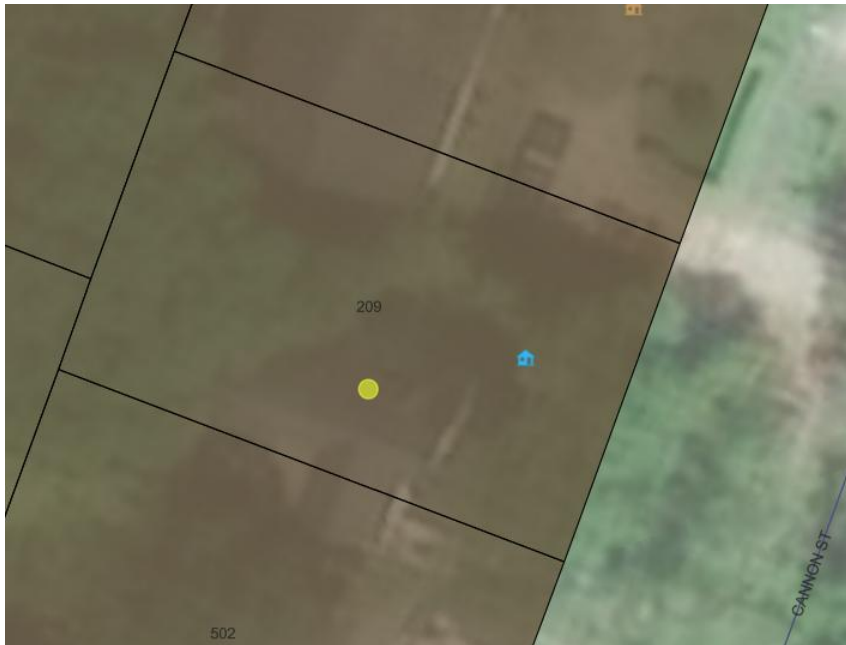
OPTIONS:

1. Approve request as submitted by applicant.
2. Approve application with conditions imposed by the Architectural Review Board.
3. Deny request.
4. Defer request for more information. The time limit of deferral must be mutually agreed upon between the board and the applicant.

If approved, building permit application, a copy of the COA, and applicable fees are required to be submitted to the Planning & Community Development Department prior to commencement of any work.

REFERENCE MATERIALS

REFERENCE ITEM 1: City of Georgetown Zoning Map *Please note the new Historic District Survey layer indicators. Orange indicates a Non-Contributing status, Blue indicates a Contributing status, black indicates no survey.*



Parcel View



Block View

REFERENCE ITEM 2: City of Georgetown Future Land Use Map *Approximate position of property in question indicated by dot.*



REFERENCE ITEM 3: FEMA Flood Map

Flood zone	<u>AE</u>
Coastal A zone	<u>No</u>
Supplemental Coastal A	No
In Floodway	No
In CBRS	No
In OPA	No
Base Flood Elevation	<u>10.0 ft</u>
Design Flood Elevation ⓘ	<u>12.0 ft</u>
Datum	<u>NAVD88</u>
FIRM Panel Effective Date	5/9/2023
FIRM panel	45043C0485G



Statewide Survey of Historic Properties
State Historic Preservation Office
South Carolina Department of Archives and History
8301 Parklane Rd.
Columbia, SC 29223-4905 (803) 896-6100

Control Number: U / 43 / 191-0257
Status County No Site No
Quad Name: Georgetown South
Tax Map No.: 05-0030-180-00-00

Intensive Documentation Form

Identification

Historic Name:

Common Name:

Address/Location: 209 Cannon Street

City: Georgetown

County: Georgetown

Vicinity of:

Ownership: Private

Category: building

Historical Use: Domestic

Current Use: Domestic

National Register of Historic Places Information

SHPO National Register Determination: Contributes to Listed District

Notes on National Register Status:

Other Designation:

Property Description

Construction Date: c. 1905

Commercial Form:

Stories: 2 stories

Alteration Date: c. 1970

Historic Core Shape: T

Roof Features

Shape: cross gable

Materials: composition shingle

Porch Features

Porch Width: full facade

Shape: hip

Construction Method: frame

Exterior Walls: synthetic siding

Foundation: brick pier with fill

Significant Architectural Features: Frame vernacular gabled-ell; 2/2 windows, single-leaf door with transom, cornice returns, Tuscan posts with slat balusters, canted bay on first story of front gable projection.

Alterations: c. 1970: wing and porch on right elevation removed

Architect(s)/Builder(s):

Historical Information

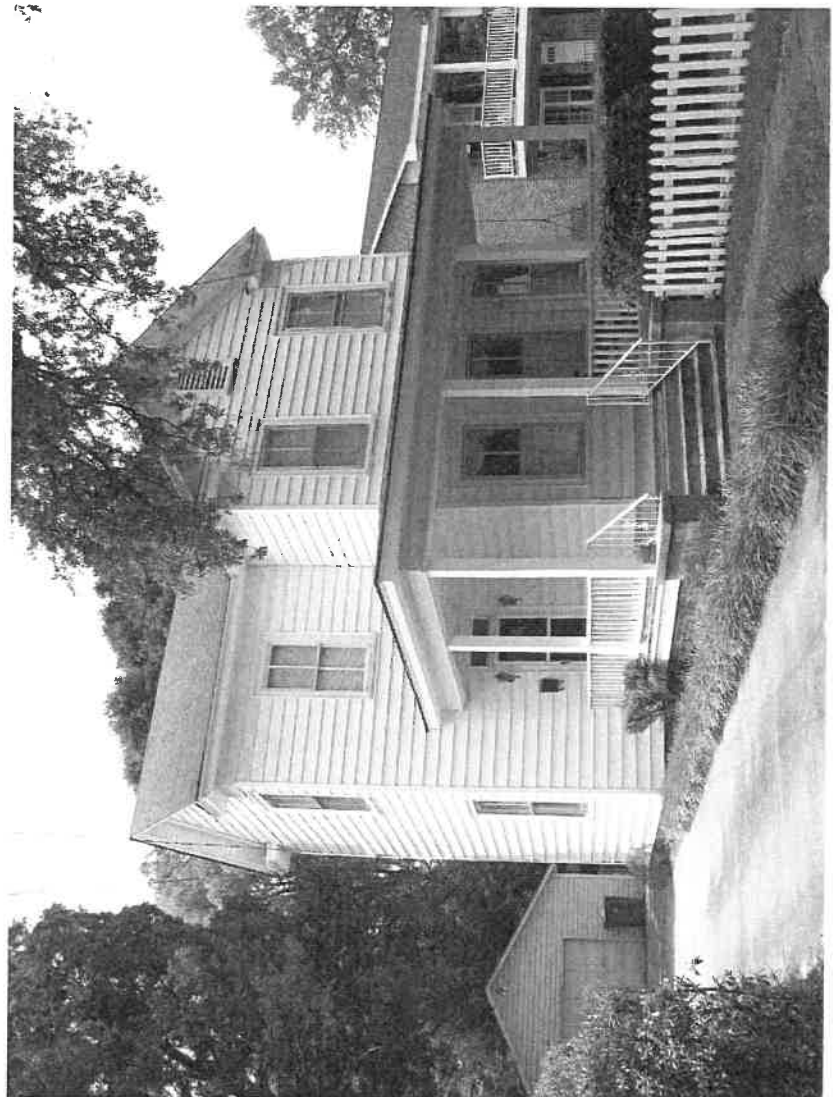
Historical Information:

Source of Information: Sanborn Maps: 1908.

Photographs

Roll No.	Neg. No.	View of
		Façade and Side Elevation, Looking N
		Façade and Side Elevation, Looking W

Use Grid for Sketching



Program Management

Recorded by: Ellen Jenkins (TRC)

Date Recorded: 6/23/2010

191-0257: 209 Cannon Street



Statewide Survey of Historic Properties
State Historic Preservation Office
South Carolina Department of Archives and History
8301 Parklane Rd.
Columbia, SC 29223-4905 (803) 896-6100

Control Number: U / 43 / 191-0257.01
Status County No Site No
Quad Name: Georgetown South
Tax Map No.: 05-0030-180-00-00

Intensive Documentation Form

Identification

Historic Name:

Common Name:

Address/Location: 209 Cannon Street

City: Georgetown

County: Georgetown

Vicinity of:

Ownership: Private

Category: building

Historical Use: Domestic

Current Use: Domestic

National Register of Historic Places Information

SHPO National Register Determination: Not Eligible

Notes on National Register Status: This resource dates from after 1960 and is a non-contributing resource in the Georgetown Historic District.

Other Designation:

Property Description

Construction Date: c. 1970

Commercial Form:

Stories: 1 story

Alteration Date:

Historic Core Shape: rectangular

Roof Features

Shape: gable, end to front

Materials: composition shingle

Porch Features

Porch Width:

Shape:

Construction Method: frame

Exterior Walls: synthetic siding

Foundation: slab construction

Significant Architectural Features: Roll-up door.

Alterations:

Architect(s)/Builder(s):

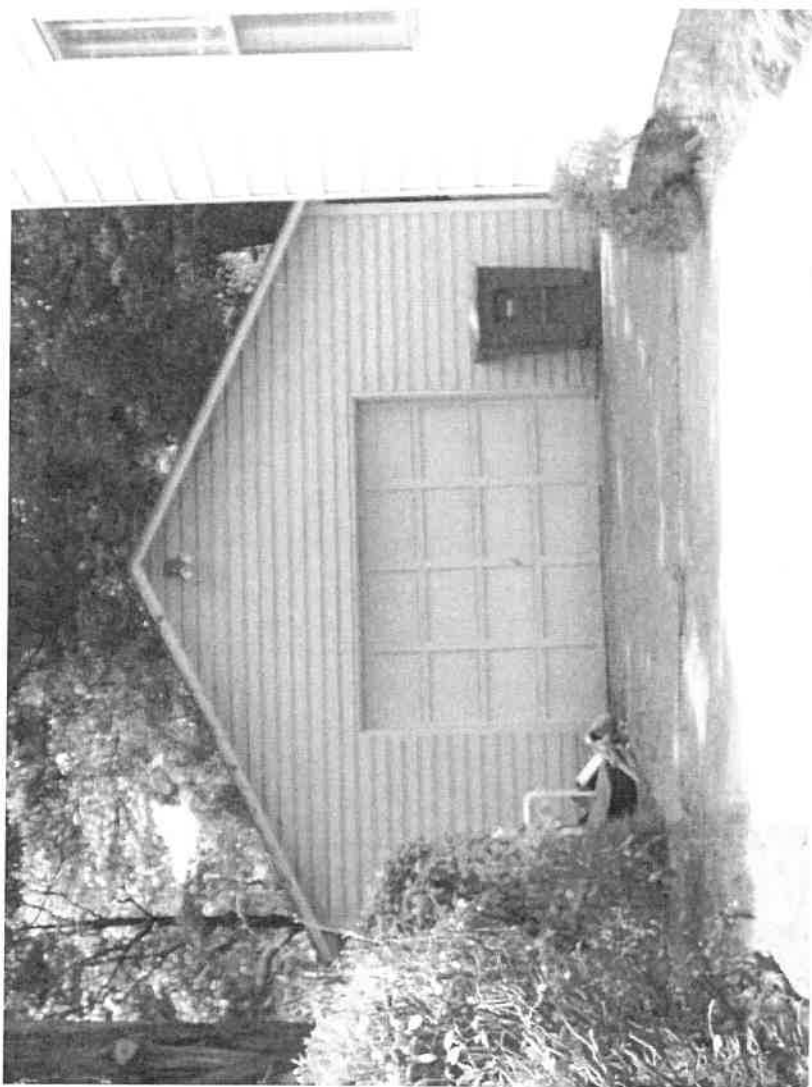
Historical Information

Historical Information:

Source of Information:

Photographs

Roll No. Neg. No. View of
Façade, Looking NW



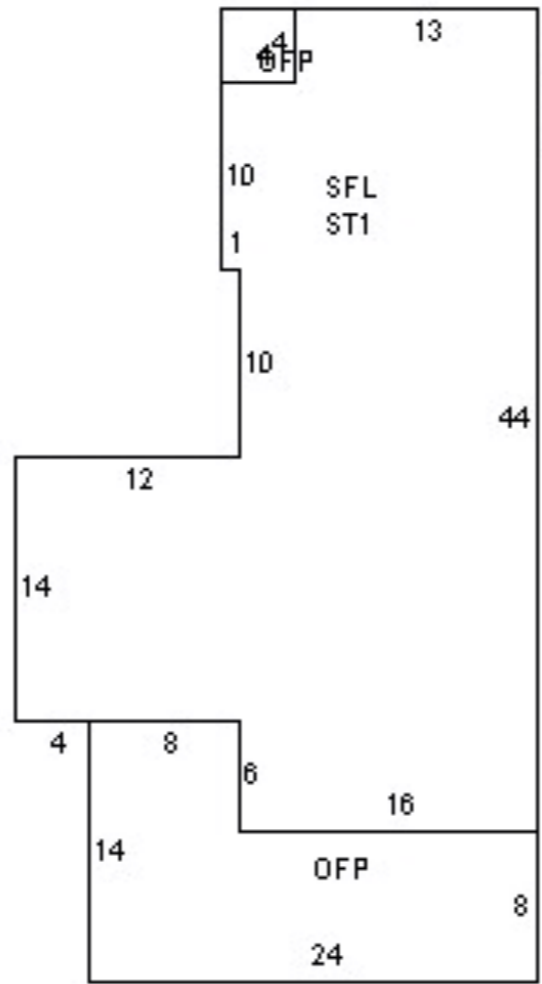
Use Grid for Sketching



Program Management

Recorded by: Ellen Jenkins (TRC)

Date Recorded: 6/23/2010



Sum Area By Label :
SFL = 870
ST1 = 870
OFF = 256

From: [Barbara McIntosh](#)
To: [Boyer, Jennifer](#)
Subject: 209 Cannon
Date: Sunday, June 14, 2026 4:30:49 PM

I sent official records but didn't t show the garage. The intended addition is a very small (80 square ft) breezeway between the two structures and the enclosure of an existing deck off back of the house.

Thank you! Babs McIntosh

Date Filed: _____

ARB Request Form

Appeal #: ARB-2026-0070

Description of Request:	
1. Breezeway including Small BATH 2. Enclosure of Rear Deck with Roof/Walls/ Windows See pictures	
List of materials to be used:	
2x4's (Lumber) Plywood 2x6's Shingles	Foundation - Concrete Bricks for Entry (3) Exterior Doors (2) Interior
In addition to this application, the following supporting materials have been submitted.	
Sheetrock (Ceiling) Tile for Floors (8x6") German Siding walls	
I certify that all the information included within this application is accurate and true:	
Signature:	Date:
Barbara McIntosh	June 7, 2026

FOR OFFICE USE ONLY	
Appeal Number:	Applicable fee:
ARB-2026-0020	\$200.00
Date Received:	Meeting Date:
Code Compliance	
Building Code:	
Flood Code:	
Zoning Code:	R4 4THO
Notes:	

**CITY OF GEORGETOWN
ARCHITECTURAL REVIEW BOARD
SUBMISSION MATERIALS CHECKLIST**

- Any changes or alterations to the exterior of a structure within the Historic District, as well as the demolition or construction of any building or fence, must be approved by the Architectural Review Board.
- Detailed drawings must be submitted with your completed application form and a \$200 application fee (\$100 for review of required revisions). Late or incomplete submissions will not be considered for that month's meeting agenda. **Please note that all projects will be reviewed by the Building & Planning Department for zoning compliance before being presented to the Architectural Review Board.
- Required materials/samples are listed below and include but not limited to:
 - New Construction/Additions/Renovations/Alterations: Scaled drawings of the front, sides, and rear elevations of all proposed new structures and/or façades to be renovated. A site plan showing the location of existing structures as well as proposed new buildings and/or additions. A landscape plan detailing the location of existing and proposed landscaping. Color samples for brick, shingles, siding, windows, and other materials.
 - Fences/ Walls: A site plan showing the location of fences, walls, and lot lines, along with material samples and design drawings.
- If the Architectural Review Board is not satisfied with your design or requires additional information to make a decision, they will typically allow the applicant to withdraw or defer the application. This does not prevent you from reapplying or submitting additional information at the next meeting.
- If your application is deferred or withdrawn and you wish to present an alternative proposal at the next meeting, you must notify the Building and Planning Department before the deadline. A new application must be submitted, and your item will be listed as "Old Business." New drawings and/or samples must be provided at least one week prior to the meeting.

PLEASE BE AWARE THAT STAFF AND BOARD MEMBERS MAY BE VISITING THE SITE PRIOR TO THE MEETING IN ORDER TO TAKE PICTURES AND MAKE A VISUAL INSPECTION OF THE EXTERIOR.

**CITY OF GEORGETOWN
ARCHITECTURAL REVIEW BOARD
CHECKLIST FOR REQUIRED MATERIALS:**

NEW CONSTRUCTION/ADDITIONS/RENOVATIONS/ALTERATIONS:

- Elevation and design drawings to scale showing front, sides and rear of all proposed new structures and/or facades proposed to be renovated.
- Site plan illustrating the location of existing structures and proposed new structure and/or additions
- Landscape plan
- Color samples of paint, building materials including windows, Shingles, lighting plan, etc. (*Black Architectural*)
Shingles

FENCES/ WALLS:

- Site Plan showing location of fence/ wall
- And lot lines
- Material Samples
- Design drawings

Please email this application to planning@georgetownsc.gov or submit in person to the Planning Department within City Hall, located at 1134 N Fraser St Georgetown SC.

From: [tachee11681](#)
To: [Bayer, Jennifer](#)
Subject: 209 Cannon Street
Date: Sunday, June 14, 2026 4:25:12 PM

Per Barbara McIntosh



Sent from my iPhone

8:40

LTE 76



Babs



240 Breezeway ideas | breezeway, house exterior, house design

google.com



Antique
Copper ~~Brass~~
Light
Fixtures

Antique Columns



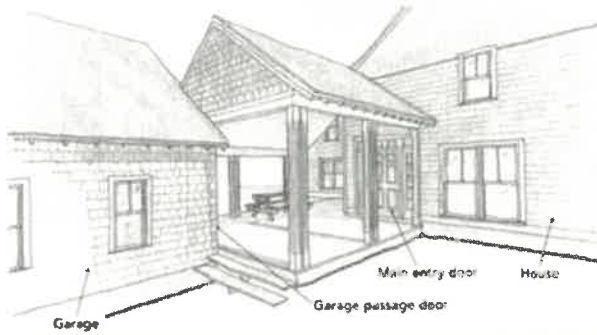
Text Message - RCS



Hello Luvvyy -



Babs



Three Ways for Breezeways - Fine Homebuilding | Backyard renovation ideas, Cozy porch layout, Home entr...

[pinterest.com](https://www.pinterest.com)

Take a look! 📌



mcintoshbabs1
(Mcintoshbabs) sent you

+ in Text Message • RCS

[pin.it](https://www.pinterest.com)





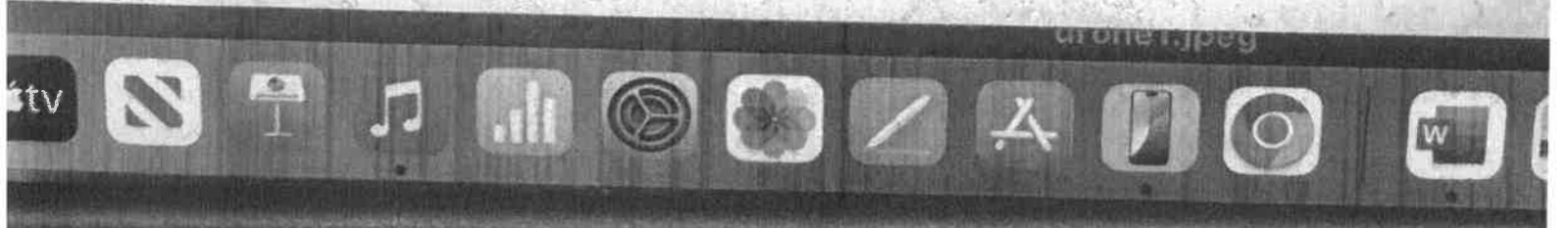
MCINTOSH BARBARA G
 2402 BASIN ST
 NORTH MYRTLE BEACH, SC 29582
 209 CANNON ST
 Georgetown

Land Value \$97,500
Improvement Value \$212,800
Accessory Value \$5,500
Total Value \$315,800

Last 2 Sales

Date	Pri
10/6/2025	\$5
1/9/2015	\$5

uments)



Kim Mitchell <kim@salutemedical.org>

(no subject)

Kim Mitchell <kimgrantmitchell@gmail.com>
To: Kim@salutemedical.org

Fri, Jun 5, 2026 at 10:56 AM

* Rear Deck Enclosure

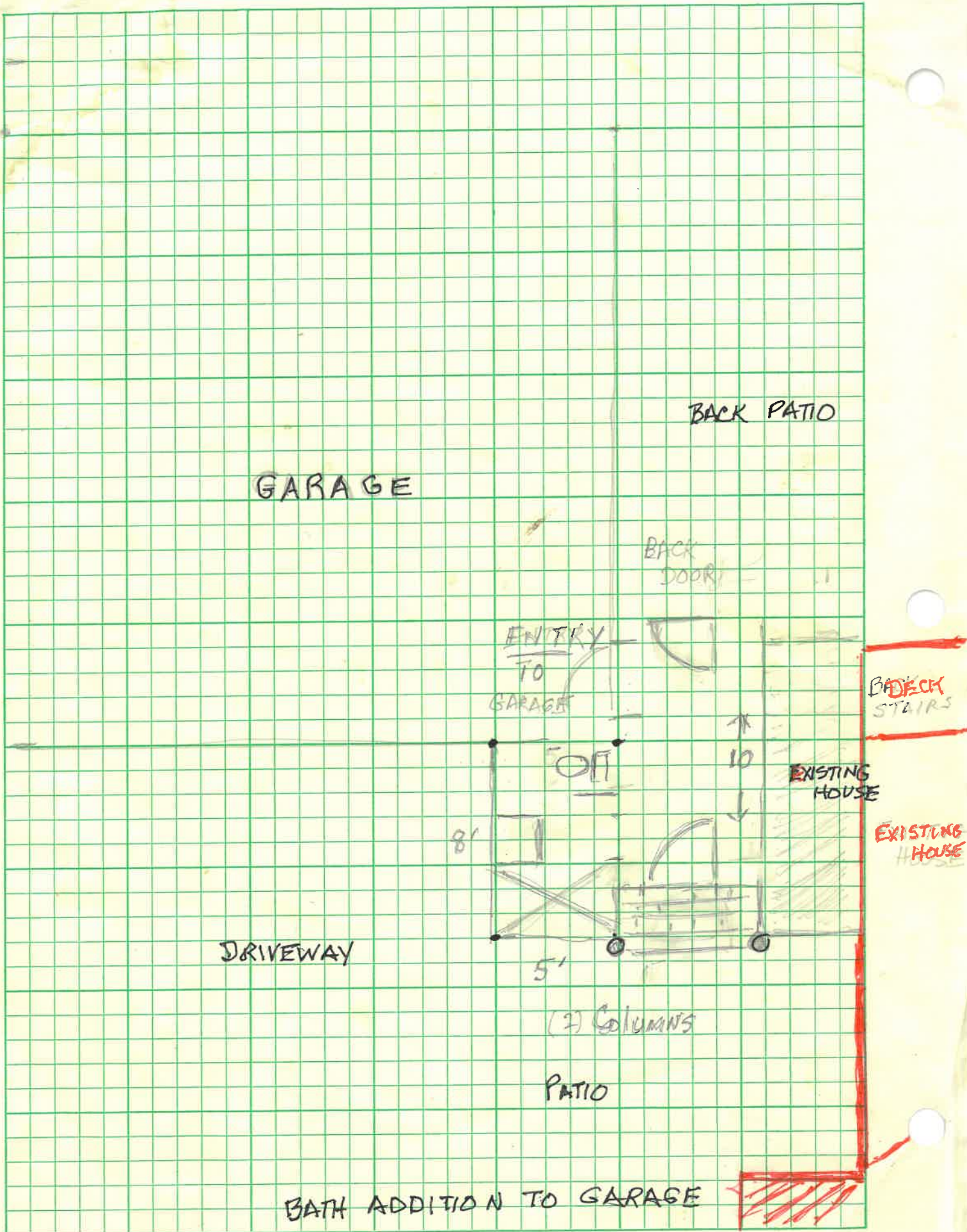
Figure A Bump-out details

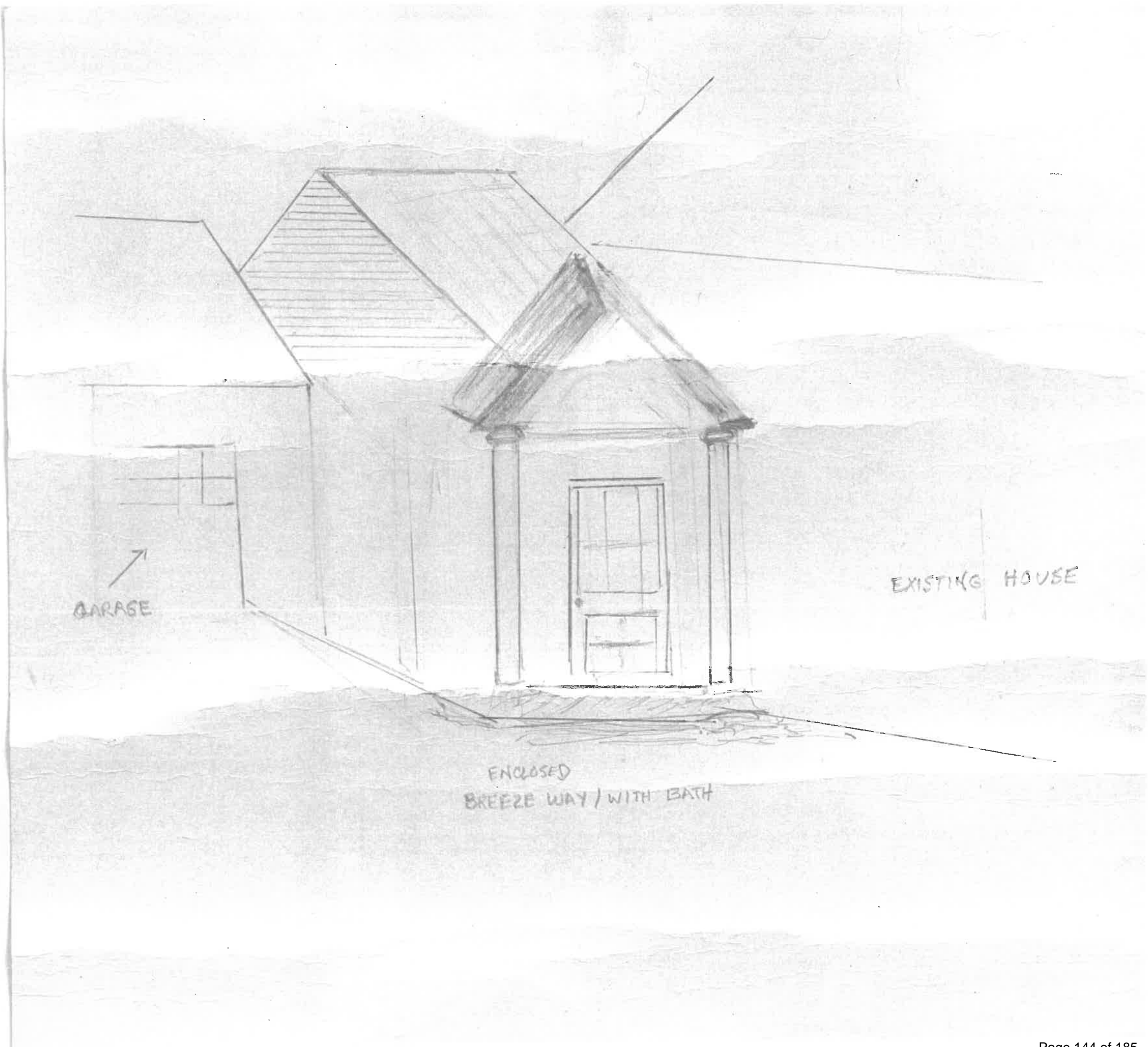


5' x 12'



MIRROR IMAGE
STEPS ON RIGHT SIDE





GARAGE

EXISTING HOUSE

ENCLOSED
BREEZE WAY / WITH BATH

MAYOR
JAY DOYLE

CITY ADMINISTRATOR
SCOTT WHITTIER

CITY CLERK
STEPHANIE BUCCIONE



COUNCIL MEMBERS
MAYOR PRO TEMPORE
JESSIE WALKER

BRUCE CARL
ERIN ETHRIDGE
TAMIKA WILLIAMS-OBENG
SHARON MELTON
HOBSON HENRY MILTON

Planning and Community Development
(843) 545-4010

CITY OF GEORGETOWN ARCHITECTURAL REVIEW BOARD

MEETING DATE: July 6, 2026

AGENDA ITEM: ARB-2026-0022 – Request: Demolition of additions, modifications and repairs to the existing structure, new addition, and new construction of an accessory structure with a porch. 221 Cannon Street. TMS# 05-0030-178-00-00. Request to demolish a non-historic in-fill addition to the home, replace upper windows on the rear elevation, repair existing brick on the chimney, new one-story addition, extension of the roof and awning on the main structure, relocate existing electrical panel, and construct a new-two-story detached structure – a garage and conditioned studio space – with a one-story covered porch and fireplace.

PROPERTY INFORMATION:

Address:	221 Cannon Street
Applicant:	Ryan Smith, Beau Clowney Architects
Property Owner:	Philip and Rebecca Lammonds
Zoning District:	High Density Residential (R4) (Reference item 1)
Overlay District:	Historic Buildings Overlay District (HD) (Reference item 1)
2040 Comprehensive Plan – FLUM:	Historic District Residential (Reference item 2)
Flood Zone:	AE10 (Reference item 3)
Use of the Property:	Single-family residential dwelling
Contribution to Historic District:	Yes (See attached)

APPLICABLE HD GUIDELINES:

All applicable guidelines can be found in the City of Georgetown Unified Development Ordinance Article XX: Historic Buildings District on the City of Georgetown website.

2010 Standards for Residential Properties - Materials

2010.1 Overview

2010.101 Policy and Justification

Character defining exterior materials should be preserved and maintained, repaired as needed, and replaced with appropriate materials only if repair is not possible. Materials such as masonry, wood siding, concrete, stucco, stone, and metal all contribute to the historic and architectural character of a building. If historic architectural materials are damaged,

replacement should be as limited as possible, retaining as much of the historic fabric as possible. In-kind materials should be used when replacement is necessary.

2010.102 Standards

- (1) If material replacement in-kind is not feasible or practical, the ARB may consider the use of appropriate alternative materials that match the original as closely as possible in texture, design, and overall appearance.
- (2) Replace architectural materials which match the original as closely as possible in form, scale, and design.
- (3) Do not remove or alter original architectural materials from the building.
- (4) Do not add non-historic materials to a building. Added materials to a property must be accurately based on physical, pictorial, or historical evidence in scale, location, proportions, form, and detailing.
- (5) Do not cover or conceal original materials with synthetic materials such as vinyl, aluminum, exterior insulation finishing systems (EIFS), or similar materials.
- (6) The use of epoxies for wood repair and special masonry repair components may be appropriate.

2010.2 Brickwork and Masonry

2010.201 Policy and Justification

The key to historic brick preservation is to keep out water and continue to use a soft mortar when repair is needed. Abrasive cleaning such as sandblasting erodes the skin of the brick and will not be approved. The use of hard mortars like Portland cement can cause the brick to crack and break when it can't expand and contract with the hot and cold weather. Low pressure water cleaning and the use of soft mortar mixes are best for Georgetown's brick buildings. Do not paint masonry which was previously unpainted.

2010.202 Standards

- (1) Repair and repoint masonry walls and features using the historic brick and an appropriate mortar mix. If the original composition can't be determined, use an approvable historic compound such as one part lime and two parts sand.
- (2) Clean masonry walls or features with detergent cleaners and using water pressure not exceeding 600 pounds per square inch.
- (3) Remove paint from masonry walls and features with appropriate chemical agents and professional contractors. A test patch should be conducted first to ensure that no etching or staining of the brick will occur.
- (4) No abrasive cleaning such as sandblasting will be permitted in the historic district.
- (5) Do not cover masonry with silicone-based water sealants. Water sealants can have the affect of trapping water on the interior of the building and not allow the brick to expand and contract properly.

- (6) Masonry that has never been painted should not be painted unless the brick and mortar is extremely mismatched from earlier repairs or patching. Painting previously sandblasted brick or brick in poor condition to provide a sealing coat may be considered.
- (7) Do not apply stucco to brickwork unless stucco was a historic application that has become deteriorated.
- (8) For masonry needing repair, hand tools are recommended over electric power saws.
- (9) Missing bricks should be replaced with bricks to match as closely as possible. Salvage companies may have molded or decorative bricks to match those missing on a dwelling.

2010.3 Siding

2010.301 Policy and Justification

Original wood siding materials should be preserved and maintained. Removal and replacement of original wood siding materials will not be approved unless it can be demonstrated that the siding is beyond repair. If replacement is required, it should be with materials to match the original as closely as possible. For contributing buildings, alternative materials may be considered for nonvisible elevations. For non-contributing buildings, alternative materials may be considered for all elevations. The concealment of original wood siding materials with vinyl, aluminum, or other synthetic sidings is not approvable. These materials do not successfully imitate the appearance of historic original wood siding. Synthetic materials also are not “breathable” and may cause condensation and damage to the original siding beneath. Asbestos shingle siding is not hazardous as long as it is kept painted and encapsulated. If an owner is concerned about the potential hazard of the asbestos shingles they may be removed and replaced with appropriate alternative materials which match the original shingles as closely as possible.

2010.302 Standards

- (1) Repair historic wood siding and wood elements with in-kind materials.
- (2) Replace historic wood siding and wood elements with in-kind materials.
- (3) Repair or replace non-historic siding materials with similar or compatible materials.
- (4) Wood siding and wood details original to a dwelling should be repaired rather than replaced. Original wood siding should be replaced only if it can be demonstrated that the siding is beyond repair.
- (5) Replacement of original wood siding with alternative materials may be considered if consistent with the ARB’s overall approach to alternative materials outlined in Section **Error! Reference source not found.**
- (6) Wood shingles should be repaired rather than replaced. If replacement is necessary due to deterioration, the new shingles should be in-kind and should match original in material, appearance, visual texture and profile.

- (7) Wood siding, shingles, and other exterior wood materials shall not be concealed beneath artificial or synthetic sidings. The application of materials such as vinyl or aluminum over original wood siding is not approvable.
- (8) Wood siding should be maintained through regular painting, but when paint removal becomes necessary, it should be done by scraping, heat (heat guns and plates), or chemical methods, never through sandblasting or other abrasive methods. The use of circular grinders or sanders should not be used to remove paint.
- (9) Asbestos shingles which are original to a dwelling should be kept stained or painted. If individual shingles are missing or cracked, matching new shingles of cementitious material or fiberglass are appropriate for replacement or repair.
- (10) Asbestos shingles which conceal the original wood siding exterior may be removed and the original wood siding restored. Removal will require qualified professionals with disposal meeting hazardous material requirements.

2011 Standards for Residential Properties – Details

2011.1 Architectural Features

2011.101 Policy and Justification

Character defining features and details should be preserved and maintained, repaired as needed, and replaced with appropriate materials only if repair is not possible. Ornamentation such as eave brackets, dentils, cornices, moldings, trim work, and shingles all contribute to the historic and architectural character of a building. If historic architectural features are damaged, replacement should be as limited as possible, retaining as much of the historic fabric as possible. In-kind materials should be used when replacement is necessary.

2011.102 Standards

- (1) Repair in-kind architectural features with materials, form, scale, and design which match the original.
- (2) Replace architectural features which match the original as closely as possible in materials, form, scale, and design.
- (3) Do not remove or alter original architectural features or ornamentation from the dwelling.
- (4) Do not add inauthentic details to the dwelling. Added architectural features to a property must be accurately based on physical, pictorial, or historical evidence in materials, scale, location, proportions, form, and detailing.
- (5) Do not cover or conceal architectural features with synthetic materials such as vinyl, aluminum, exterior insulation finishing systems (EIFS), or similar materials.
- (6) Alternative materials may be considered if deterioration is ongoing due to flawed architectural design or for non-contributing structures.

2011.2 Awnings

2011.201 Policy and Justification

The installation of awnings is appropriate as long as they are correctly sized to the opening and of fabric or canvas materials. While metal awnings became used in the mid-20th century, these are not appropriate on primary or readily visible side elevations. However, metal awnings may be added on rear elevations or those not readily visible. The installation of awnings should be with the least amount of anchor hardware possible to minimize damage to historic materials and be as reversible as possible. Awnings are historically appropriate for the district and can add a design element to a dwelling as well as assist in energy conservation.

2011.202 Standards

- (1) Install awnings of appropriate materials, design, and dimensions.
- (2) Repair existing awnings with in-kind materials.
- (3) Replace awnings with appropriate materials, design, and dimensions.
- (4) Awnings may be added on dwellings at traditional locations such as over windows and doors and attached to porches.
- (5) Awnings should be of canvas, vinyl-coated, or acrylic material.
- (6) Awnings should not cover or conceal significant architectural details.
- (7) Awnings should be of colors to compliment the building.
- (8) Awnings should fit the opening—rectangular window and door openings should have straight across shed type awnings, not bubble or curved forms. Awnings over windows with rounded or oval shapes should have curved awnings to match the opening.
- (9) Metal awnings may be added on rear or non-readily visible side elevations.
- (10) Awning installation should be with the least amount of anchor hardware possible and be readily reversible if removed.

2011.3 Chimneys

2011.301 Policy and Justification

Preserve and maintain historic chimneys, as they help convey the architectural style and period of the dwelling. Removal of an original chimney which is readily visible detracts from the overall historic feeling of the building and will not be approved. Repair damaged chimneys following the Standards for masonry. Rebuild a missing or deteriorated chimney using historical documentation, or in similar design to chimneys on dwellings of similar style and period.

2011.302 Standards

- (1) Repoint and clean brick chimneys according to the masonry Standards.
- (2) Do not remove or alter original chimneys on primary façades or readily visible rooflines unless the chimney cannot be repaired. If removed above the roofline, a readily visible chimney must be replaced with a close facsimile of the original.

- (3) Do not cover brick chimneys with stucco unless the chimney was covered with stucco during its period of significance and requires re-application.
- (4) If chimneys have been extensively repointed resulting in mismatched colors and textures, painting will be considered.
- (5) Chimneys should have clay, slate, brick, or stone caps. The use of the metal caps is discouraged unless they fit right in the top of the chimney and are not readily visible.
- (6) Small chimneys or flues on rear elevations or side elevations not visible may be considered for removal if necessary due to deteriorated condition or re-roofing.

2011.4 Doors and Entrances

2011.401 Policy and Justification

Preserve historic façade entrance elements including original doors, surrounds, sidelights, and transoms whenever possible. If historic doors or entrance components are damaged, replacement should be as limited as possible. Use in-kind materials when replacement is necessary. The addition of wood screen doors is appropriate as long as the framing is minimal and the historic door can be viewed behind it. Retaining original entrances and their decorative elements is an important part of preserving a dwelling's character.

The installation of security doors on primary facades may be appropriate if they have minimal framework, are of full-view design and allow the visibility of the historic door behind it. Security doors which have extensive frame or grill work should only be added to entrances at rear or non-readily visible side elevations. Storm doors are also appropriate for front facades if they are full-view design and allow the visibility of the historic door behind it. Storm doors should be of baked-enamel aluminum or wood and in a color that blends with the door frame and is as unobtrusive as possible

2011.402 Standards

- (1) Repair original doors and entrance elements with materials which match the existing.
- (2) Where repair is not possible, replace with a new door or entrance elements in-kind with similar materials, profile, and dimensions.
- (3) Do not remove or alter historic entrances, their doors, surrounds, sidelights, transoms, or detailing. Repair and reuse original hardware as long as possible.
- (4) Do not replace existing door trim or surrounds with trim that represents a different house style or design.
- (5) Where original doors have been removed, replace them with an appropriately styled door for the dwelling. The new door should be based on doors of similar age and architectural style in the district. If the original design is unknown, a secondary entrance may contain an original door that can be moved to the main entrance. Salvage companies may also have historic doors available.

- (6) The addition of a new entrance to meet life and safety codes should be sited at rear or side elevations that are not readily visible.
- (7) Entrances on primary facades may have added screen doors of appropriate design. Screen doors should be appropriate to the style of the house.
- (8) The design of added screen doors should have minimal framing (i.e., full-view or two panel) to allow the viewing of the original door behind it.
- (9) Repair security or storm doors with materials that match the existing.
- (10) Install a storm door on the primary façade entrance only if full-view design, of baked enamel aluminum or wood, and in a color compatible with the door frame and dwelling.
- (11) The use of anodized aluminum for security and storm doors is not appropriate for primary entrances on main façades but may be added at rear or side elevations not readily visible.
- (12) Replace or install a security door on a rear entrance or side entrance not readily visible.

2011.5 Foundations

2011.501 Policy and Justification

The pattern, materials, and dimensions of original foundations contribute to the historic character of a building and help convey the style and period of the building. Proper maintenance is key to preservation, and repair should occur promptly when deterioration is observed. In cases where materials are beyond repair, replace them with material matching the original. Original foundations should not be concealed beneath added materials.

2011.502 Standards

- (1) Repair masonry foundations with materials to match the original.
- (2) Replace masonry features with materials to match the original as closely as possible.
- (3) Repaint previously painted masonry foundations.
- (4) Repoint masonry with an appropriate mortar mix which closely resembles the original mortar composition.
- (5) Repair frame lattice panels between brick piers and replace lattice panels in keeping with traditional designs.
- (6) Foundations of brick piers should be left open or be filled in with traditional materials, such as wood lattice framed panels or brick lattice panels. Frame lattice panels should be set back from the fronts of the piers by at least 2 inches. If brick lattice panels are used, the brick should be similar in color, texture and mortar joint profile as the original brick piers. Where wood lattice panels contact dirt at base, synthetic lattice materials may be considered.
- (7) Do not conceal or enclose foundations with concrete block, plywood panels, corrugated metal, or wood shingles.

- (8) Foundations should not be painted or stuccoed, but these treatments may be considered if the brick and/or mortar is mismatched or inappropriately repaired.

2011.7 Lighting

2011.701 Policy and Justification

Light fixtures which are original to a 20th century dwelling should be preserved and maintained or repaired as needed. If repair is no longer possible, replacement with a new fixture in keeping with the dwelling's style is appropriate. New light fixtures should be appropriate for the style and period of the dwelling to which they are added. Lighting to accent sidewalks or front yards is appropriate.

2011.702 Standards

- (1) Replace original light fixtures with new fixtures which complement the style of the dwelling or are simple in design.
- (2) Light fixtures original to a dwelling should be preserved and maintained or repaired with materials to match as closely as possible.
- (3) Light fixtures introduced to the exterior of a dwelling should be appropriate for the style and era of the house for dwellings built in the 18th and 19th centuries, light fixtures based on Colonial-era lamps are appropriate. Light fixtures should be added only at traditional locations such as at porch ceilings and flanking entrances.
- (4) Light fixture installed for security, such as flood lights, should be mounted on rear or sides of buildings rather than on the front. Floodlights mounted in yards to illuminate the front of the house are discouraged but acceptable.
- (5) Light fixtures for sidewalks and front yards should be of small footlights or post-mounted fixtures compatible with the primary structure.

2011.10 Porches, Columns, and Railings

2011.1001 Policy and Justification

Original porches should be repaired, preserved and maintained. Those on the primary façades of dwellings should not be enclosed with wood or glass panels. The screening of porches on the fronts of dwellings is appropriate if the framing is kept to a minimum. If repair of porch elements is required, use materials to closely match those which exist. If porch elements such as columns, balusters, or floorboards are deteriorated and need replacement, alternative materials may be considered. If an original porch is missing, a new porch may be constructed based upon photographic or physical evidence or based upon the design of similar style and age dwellings. In some cases, dwellings had their original porches removed and replaced with Craftsman/Bungalow style porches in the 1920s and 1930s. These porches reflect the historical evolution of property and may be significant in their own right.

2011.1002 Standards

- (1) Repair porch elements with materials to match the original.
- (2) Replace porch elements with materials to match the original.

- (3) Ceiling fans may be installed on porches.
- (4) Porches on front and side facades should be maintained in their original configuration and with original materials and detailing.
- (5) Porches should not be removed if original.
- (6) Porches on front and readily visible side elevations should not be enclosed with glass or wood panels. Those on rear or non-readily visible side facades may be enclosed with acceptable glass or wood panels as long as there is no removal of extensive historic fabric and the enclosure is reversible.
- (7) The enclosure of front porches and those on readily visible side elevations with screen panels may be appropriate if the framing is minimal and the viewing of the façade behind the screen panels is not significantly impaired.
- (8) Porches which have wood floors should have wood stairs repaired or replaced as needed, not brick or concrete. On rear or non-readily visible side elevations wood stairs are also recommended but brick or cast concrete steps may be added at these locations.
- (9) Porches on the fronts of dwellings may be partially enclosed with lattice panels compatible with the style of the house for privacy. This should not exceed more than one-third of the porch area in order to maintain its traditional open appearance. Lattice panels should be compatible with the style of the house and be added behind, not in front, of porch columns and railings. Lattice panels in traditional square and diagonal designs are appropriate.
- (10) The use of trellis panels is appropriate for porches on all elevations.
- (11) Wood porch floors that are deteriorated should be replaced with wood tongue and groove flooring or boards running perpendicular to the façade. The use of alternative porch floor materials may be considered on rear elevations.
- (12) Porches that are missing their original columns and balusters should be rebuilt based upon photographic or physical evidence. If no evidence exists, porches should be rebuilt in keeping with porches of similar house styles and age.
- (13) Balusters (also called spindles) should be carefully sized for any replacement porch. Milled spindles measuring 3 feet high and 2 inches in diameter are best for Georgian, Federal, Queen Anne, and Folk Victorian dwellings. Balusters or spindles which are smaller than 2 inches in diameter are not appropriate for exterior porches. Square balusters which are 3 feet high and 2 inches to 3 inches in width and depth are best for Craftsman/Bungalow dwellings.

2011.11 Roofs

2011.1101 Policy and Justification

Original roof forms such as gable or hipped should be preserved and maintained. If additions to roofs are desired such as new dormers or skylights, these should be added at rear or side rooflines that are not readily visible. Historic roof materials such as metal standing seam and clay tile should be repaired and preserved. If repair is no longer practical, replacement with approved metal, asphalt or fiberglass roof materials is appropriate. When replacing metal roofing the pattern must match that of the existing roof. Alternative roofing materials may be

considered. Any addition to a roof such as solar panels, ventilators, and skylights requires ARB review.

2011.1102 Standards

- (1) Roofs should be preserved in their original size, shape, and pitch, with original features (such as cresting, chimneys, finials, cupolas, etc.), and, if possible, with original roof materials.
- (2) New metal roofs should be in keeping with traditional standing seam designs and dimensions with proper spacing and crimping. Other profiles are not appropriate for contributing buildings and commercial metal roofing profiles are not appropriate for residential buildings.
- (3) Roofs should not have new dormers introduced on front façades but may have dormers added on rear façades or secondary façades which are not readily visible and if in keeping with the character and scale of the structure.
- (4) The use of reflective roof shingles may be considered if the shingles are not shiny and are in shades of brown and other medium-dark colors. Light gray and white roofs are not appropriate for the district.
- (5) The installation of alternative materials instead of original roof materials may be considered.
- (6) Most of Georgetown’s 18th and 19th century dwellings had roof surfaces of wood shingles. If a property owner wishes to reinstall a new wood shingle roof, the design should be based on historic shingle dimensions and texture. Shingles should be laid in a horizontal row with the bottom edge either in alignment with the adjacent shingle or staggered to match the historic condition.
- (7) Additions such as skylights, balconies, or roof ventilators should not be added to dwellings on front or readily visible side elevations.
- (8) Skylights should be placed at rear roof lines or behind gables and dormers and not be readily visible. Skylights should be as minimal in design as possible—flat or flush is best, but convex and “bubble” designs that are low-profile may be considered.
- (9) Solar panels on roofs should only be located on rear or side elevation rooflines which are not visible from the public right-of-way.

2011.12 Staircases and Steps

2011.1201 Policy and Justification

Because of their exposure to the elements most of the wood staircases built prior to 1900 have been rebuilt. In many cases the original wood steps have been replaced with steps of brick or concrete. Replacement of deteriorated wood steps with wood is preferable to replacement with brick, pre-cast concrete, or wrought iron.

2011.1202 Standards

- (1) Replace non-historic wood, brick, or concrete staircases and steps with in-kind or compatible materials.
- (2) Add staircases and steps on rear elevations and side elevations not readily visible.
- (3) Staircases and steps original to a dwelling should be repaired and retained. Wood, brick, and concrete steps should be repaired with materials to match the original.
- (4) The installation of brick staircases and steps to replace wood staircases and steps on primary elevations is discouraged but will be considered. The use of pre-cast concrete staircases and steps is not appropriate on contributing houses, or on primary elevations of non-contributing buildings and new dwellings.
- (5) Where required by codes, new stairs should be designed with “graspable” handrails which are no larger than 1-1/2 inch in diameter. These handrails can be attached to existing wood staircases when required for codes.

2011.13 Windows and Shutters

2011.1301 Policy and Justification

Windows on historic dwellings should be maintained or repaired to match the original design. Approval to remove original wood sash or steel casement windows will only be granted if the windows can be demonstrated to be beyond repair. If windows are deteriorated beyond repair, the installation of new wood or steel windows to match the original designs is preferred. Alternative materials may be considered. Original window openings on primary facades or readily visible side elevations should not be covered or concealed. Original window openings should not be enclosed for the addition of smaller windows. New window openings should not be added on the fronts of dwellings but may be added at the rear or side elevations if not readily visible.

Window shutters have been traditional features on houses in Georgetown in both louvered and paneled wood designs and their continued use is encouraged. Historic wood shutters should be preserved and maintained. New shutters may be added if they are of wood, of traditional design and with dimensions which match the window opening. The installation of storm windows can help in lowering energy costs and are appropriate for Georgetown’s historic dwellings.

Storm windows should be full-view design or have the central meeting rail at the same location as the historic window behind it. The installation of screen panels is also appropriate as long as they retain the open appearance and the visibility of the windows behind them. The installation of visible security bars on the exterior of windows is not appropriate on primary facades. Window bars may be added on the exterior of windows on rear or side elevations not readily visible.

2011.1302 Standards

- (1) Repair a historic or non-historic window with in-kind materials of similar design.

- (2)** Original windows should be preserved in their original location, size, and design and with their original materials and numbers of panes.
- (3)** Windows should be repaired rather than replaced. Window replacement will only be approved if it can be demonstrated that the historic windows are beyond repair.
- (4)** If replacement of original or historic windows is demonstrated to be necessary, the replacement windows should be in-kind.
- (5)** Windows of alternative materials may be considered.
- (6)** New window openings should not be added to primary façades or to readily visible side elevations.
- (7)** Windows of steel or other metal designs should be preserved and maintained or replaced with new metal windows which are similar in appearance and materials.
- (8)** Replacement windows should not have snap-on, flush, or simulated divided muntin's. Muntin's sandwiched between layers of glass, snap-on muntin's, and surface-applied muntin's are not appropriate and shall not be approved.
- (9)** Clear glass must be used in windows on the primary and readily visible side elevations. Do not use reflective, tinted, patterned, or frosted glass in windows. The addition of these glass materials may be used on rear elevations or those not readily visible.
- (10)** If an interior dropped ceiling is lower than the top of the window, the ceiling must be stepped back from the window to not obscure the top of the window from outside view.
- (11)** Shutters that are original to the dwelling should be preserved and maintained. If not possible, replace historic wood shutters with in-kind materials or similar design.
- (12)** Add wood shutters based on traditional designs and that fit the window opening.
- (13)** Add screen panels with wood or metal frames that are full-view design and allow the visibility of the historic window behind it.
- (14)** Add storm windows of wood or metal frames which are full-view design or match the meeting rail of the window behind it. Storm windows should be of anodized or baked enamel surfaces and not unfinished metal.
- (15)** Shutters should not be added to contributing buildings unless historically appropriate to that style house in Georgetown or there is physical or photographic evidence that shutters were original to the dwelling. Adding shutters to non-contributing and new buildings will be considered.
- (16)** New shutters shall be of louvered or paneled wood construction or another documented historical style appropriate for that style of the building in Georgetown. They must be either working shutters or shutters that appear to be working shutters with appropriate hardware. All shutters shall be appropriately sized to fit the window opening so that if working and closed, they would cover the window opening.

- (17) Shutters should not be added to banks of multiple windows.
- (18) The application of vinyl or metal shutters on primary elevations will not be approved. These types of shutters may be considered for rear and side elevations not readily visible.
- (19) Window screens should be framed in wood or baked-on enamel aluminum and fit within the window frames and not overlap the frames.
- (20) Security bars shall not be applied to any elevation of contributing buildings or to primary or other readily visible elevations of non-contributing.

2012 Standards for Residential Properties – Setting

2012.3 Garages, Sheds, Outbuildings, and Ancillary Outdoor Structures

2012.301 Policy and Justification

Outbuildings are part of the historical and architectural significance of the historic district and reflect the cultural and technological changes over time. Historic outbuildings should be preserved and maintained. They should be repaired with materials and details to match the original. Georgetown has a tradition of ancillary and support buildings constructed in the rear yard of dwellings. These types of structures are appropriate if they are compatible with the primary dwelling in design and materials and are sited at traditional locations at the rear of the dwelling and not readily visible.

The general approach to new construction for outbuildings is to be secondary in scale and compatible with adjacent dwellings. Compatible means reinforcing typical features that the primary dwelling on the lot may have as well as other dwellings and outbuildings along the block. Architects and property owners are encouraged to design outbuildings compatible with the context of primary dwellings on the lot and adjacent historic dwellings. Replications or reproductions of historic designs are also appropriate and acceptable for Georgetown's historic residential areas. The erection of ancillary outdoor features may be appropriate if they are sited in rear or side yards not readily visible from the street and adequately screened.

2012.302 Standards

- (1) Repair or replace original materials with in-kind materials to match.
- (2) Original garages, carriage houses, sheds, and outbuildings that retain their historic architectural character should be preserved and maintained.
- (3) Original outbuildings should be repaired with materials to match the original. If original garage doors on contributing buildings are missing or damaged, sectional overhead roll-up doors and side-hinged doors of wood in historic designs are appropriate. For non-contributing buildings these designs are also recommended, and doors of metal, composite, and other alternative materials will be considered.
- (4) Replace damaged or deteriorated sections of historic garages and accessory structures, only if deteriorated beyond repair and with in-kind materials to match the original. Where possible, replace only the damaged or deteriorated portions rather than the entire feature.

- (5)** Outbuildings were often built without gutters and those of frame construction may have deterioration of the sills and lower siding materials. If this is the case, consider only repairing these damaged areas rather than replacing the entire structure. Original foundation materials should be preserved and maintained.
- (6)** New garages and outbuildings should follow the historic setback for an outbuilding or garage on the property or patterns of other garages and outbuildings in the streetscape or historic district.
- (7)** Reconstruction of a missing or replacement garage or outbuilding must be based on accurate evidence of the original configuration, form, massing, style, placement, and detail and confirmed with photographs or other documentation of the original building.
- (8)** The design of new garages and outbuildings must be secondary to that of the primary historic dwelling. Under no circumstance should any outbuilding be larger than the primary structure.
- (9)** New garages and outbuildings should be compatible in size, scale, proportion, spacing, texture, setbacks, height, materials, color, and detail to the primary dwelling and should relate to similar secondary buildings along the block.
- (10)** Materials used for new garages and outbuildings should reflect historical development of the property. Materials used at exterior façades of garages and outbuildings were often different (and less costly) than that of the main dwelling. Materials that are appropriate for new secondary buildings include wood or brick. If frame buildings are constructed, alternative materials may be considered if they resemble traditional wood siding in texture, dimension, and overall appearance. Materials such as T1-11 siding are not sufficiently durable for exterior use and are not appropriate.
- (11)** New outbuildings should be added in traditional locations such as along rear or side lot lines or in rear yards not readily visible from the public right-of-way.
- (12)** The spacing and size of window and door openings in a new garage or outbuilding should be consistent with the historical development of the property and similar to their historic counterparts within the streetscape or historic district, as should the proportion of window to wall space.
- (13)** Metal garage doors with a paneled design may be appropriate. These doors can be used on garages that are located at the back of the lot and are minimally visible from the street or public right-of-way. If the garage and garage doors are highly visible from a public street or located on a corner lot, install solid wood or wood garage doors with a paneled design.
- (14)** At double garages, two single garage doors rather than one larger, double door shall be installed. This will maintain the scale and rhythm of older structures, making a two-car garage seem smaller and more compatible with the primary dwelling.
- (15)** Prefabricated storage units less than six feet in height may be appropriate for back yards if not visible from the public right-of-way. Prefabricated carports and sheds are not permitted.

- (16) The appearance and location of a new outbuilding should be based on the appearance of the historic outbuilding if such existed. Use historic photographs and other documentation such as Sanborn Fire Insurance maps for guidance as to size and location of a previous outbuilding on the property.
- (17) If documentation of a historical outbuilding at the site is not available, the size, design, and location of a new outbuilding should be in keeping with other outbuildings in the block and historic district and complement the design of the main structure.
- (18) If mechanical equipment, skylights, or solar panels are placed on the roof of a garage or other outbuilding, they should be set back or screened so that they are not readily visible from the public right-of-way.
- (19) The installation or erection of ancillary outdoor features will be considered if located in rear or side yards, of a scale appropriate for the location, built with materials traditionally found in the historic district such as wood or brick, and such features complement the architectural design of the dwelling or main building and other improvements on the property and adjacent properties. In some instances, a readily visible ancillary outdoor feature may be required to be adequately screened to lessen its visual impact.
- (20) New carports should be located at the rear of dwellings and not visible. Carport designs with flat roofs and metal support columns and are not compatible with historic building designs. Carports imitative of porte-cocheres (drive-thru wings on historic dwellings) with wood or brick columns, flat roofs, and wood construction may be added to sides of dwellings visible from the street. Carports should be reflective of the architecture of the house and not detract from the dwelling's original design.

2013 Standards for Residential Properties – New Construction

2013.1 Additions

2013.101 Policy and Justification

Additions to contributing dwellings are permissible as long as they minimally affect historic materials, are not readily visible, are secondary in size and scale to the footprint of the original dwelling and maintain the dominance of the original structure. The new addition should be distinguishable from the character of the original dwelling while blending with the overall design. An addition should be designed and constructed in a manner that would allow its potential removal in the future with minimal effect to the historic structure. For non-contributing buildings there may be additional flexibility in the design and size of rear additions.

2013.102 Standards

- (1) Additions should be appropriate to the architectural style of the existing building and must be blend with those characteristics of the subject building and adjacent buildings and streetscapes.
- (2) New additions should be constructed on the rear elevation or on a non-character-defining elevation of an existing building and not readily visible. Character-defining features of

buildings should not be radically changed, obscured, damaged, or destroyed by an addition. The existing historic building fabric should not be damaged by the installation of a new addition.

- (3) The design of an addition to a historic building must be distinguishable from the original historic building.
- (4) The connections between an addition and the historic building should be visibly discernible. A transition between the new addition and the historic structure should be identifiable and maintained.
- (5) For additions and/or alterations to the primary building façade, the main entrance should be oriented towards the street.
- (6) Additions shall respect the scale and massing of neighboring historic buildings. Large additions may be required to be divided into smaller components similar in scale to the original building and neighboring historic buildings.
- (7) Additions should be designed to respect the established front and side yard setbacks present in the overlay district.

APPLICABLE UDO GUIDELINES:

All applicable guidelines can be found in the City of Georgetown Unified Development Ordinance (UDO) on the City of Georgetown website.

500 Area, Yard, and Height Requirements Table.

District	MINIMUM LOT SIZE		Lot Width at Building Line	MINIMUM SETBACK FROM PROPERTY LINE				Maximum Height of Structure
	Area in Square Feet	Area in Acres		Front	Side	Rear	Principal Street Side on Corner Lot [S11]	
R1 Residential	10,000	--	70	30[508]	10	20	15	35
R2 Residential	8,000[501.1]	--	60[502.1]	30[508]	10	20	15	35
R3 Residential	8,000 [501.2,509]	--	60[502.2]	30[508]	8	10	12	35
R4 Residential	6,000 [501.2,510.2] 10,000 (MF)[501.2, 510.2]	--	60[502.3]	25[508] 25[508]	8 10	10 15	12 15	35
R5 Residential	5,000 [501.3]	--	50	30[508]	15[500]	10	10 S	35

802 Accessory Use, Building, Structure.

No accessory building, structure or use in any district shall be established, erected, or maintained without a principal use or without a permit. Accessory uses, buildings and structures shall not be located forward of the principal structure.

802.1 General Provisions.

All zoning districts shall limit cumulative area of accessory uses, buildings and structures to 10% of the gross square footage of the parcel. A site plan shall be approved by the Zoning Administrator and a permit shall be required.

802.2 Residential Properties.

Each accessory use, building or structure shall be separated at least six (6) feet from any other building, structure, use or property line.

802.201 Accessory uses, buildings, and structures in residential zoning districts shall be limited to three (3) per parcel and shall be no more than 20 feet in height.

802.202 The establishment of any accessory building or structure shall not result in accessory uses, buildings, and structures exceeding 2,500 square feet in total.

802.203 No one accessory use, building, or structure in a residential zoning district shall exceed the size of the primary accessory use, building or structure.

802.204 Additions attached to the primary structure via a conditioned walkway, as well as attached decks, carports and garages (open-air or enclosed) shall not be considered accessory structures and must comply with setback requirements as defined in **Error! Reference source not found.** f or the applicable zoning district.

802.205 Buildings or structures either entirely detached or attached via a non-conditioned walkway are to be considered accessory structures.

OPTIONS:

1. Approve request as submitted by applicant.
2. Approve application with conditions imposed by the Architectural Review Board.
3. Deny request.
4. Defer request for more information. The time limit of deferral must be mutually agreed upon between the board and the applicant.

If approved, building permit application, a copy of the COA, and applicable fees are required to be submitted to the Planning & Community Development Department prior to commencement of any work.

REFERENCE MATERIALS

REFERENCE ITEM 1: City of Georgetown Zoning Map *Please note the new Historic District Survey layer indicators. Orange indicates a Non-Contributing status, Blue indicates a Contributing status, black indicates no survey.*

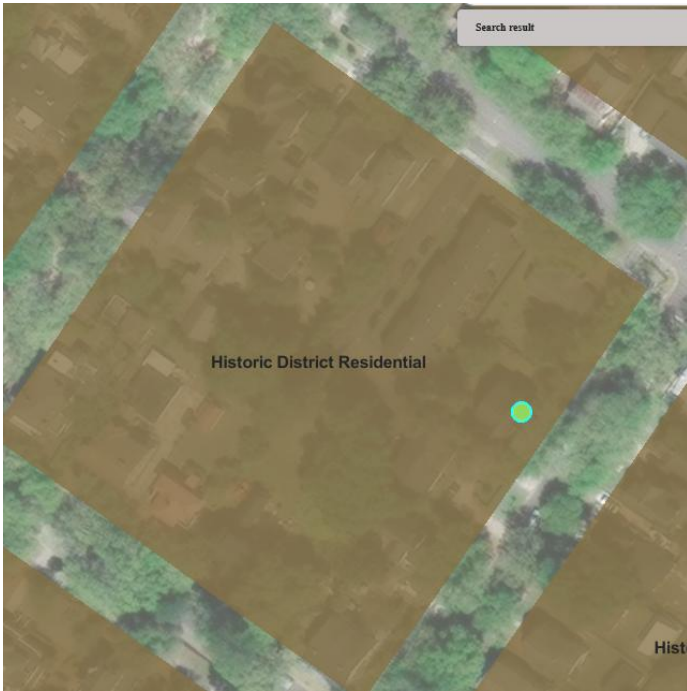


Parcel View



Block View

REFERENCE ITEM 2: City of Georgetown Future Land Use Map *Approximate position of property in question indicated by dot.*



REFERENCE ITEM 3: FEMA Flood Map

Overview	Activity	Records	Files
Flood zone			AE
Coastal A zone			No
Supplemental Coastal A			No
In Floodway			No
In CBRS			No
In OPA			No
Base Flood Elevation			10.0 ft
Design Flood Elevation ⓘ			12.0 ft
Datum			NAVD88



Statewide Survey of Historic Properties
State Historic Preservation Office
South Carolina Department of Archives and History
8301 Parklane Rd.
Columbia, SC 29223-4905 (803) 896-6100

Control Number: U / 43 / 191-0256
Status County No Site No
Quad Name: Georgetown South
Tax Map No.: 05-0030-178-00-00

Intensive Documentation Form

Identification

Historic Name:

Common Name:

Address/Location: 221 Cannon Street

City: Georgetown

County: Georgetown

Vicinity of:

Ownership: Private

Category: building

Historical Use: Domestic

Current Use: Domestic

National Register of Historic Places Information

SHPO National Register Determination: Contributes to Listed District

Notes on National Register Status:

Other Designation:

Property Description

Construction Date: c. 1905

Commercial Form:

Stories: 2 stories

Alteration Date: 1999

Historic Core Shape: rectangular

Roof Features

Shape: gable, lateral

Materials: composition shingle

Porch Features

Porch Width: full facade

Shape: hip

Construction Method: frame

Exterior Walls: weatherboard

Foundation: brick pier

Significant Architectural Features: Frame vernacular: 6/6 sash windows, single-leaf door with sidelights and transom, French doors at outer bays of first level of facade, gabled balcony centered above porch, rear gabled wing with German siding, 2/2 sash, and shed-roofed porch, chamfered post porch supports, exposed rafter tails.

Alterations: 1999: balcony rebuilt.

Architect(s)/Builder(s):

Historical Information

Historical Information:

Source of Information: Sanborn Map: 1908.

Photographs

Roll No.	Neg. No.	View of
		Façade and Side Elevation, Looking S
		Façade, Looking SW
		Façade and Side Elevation, Looking W

Use Grid for Sketching

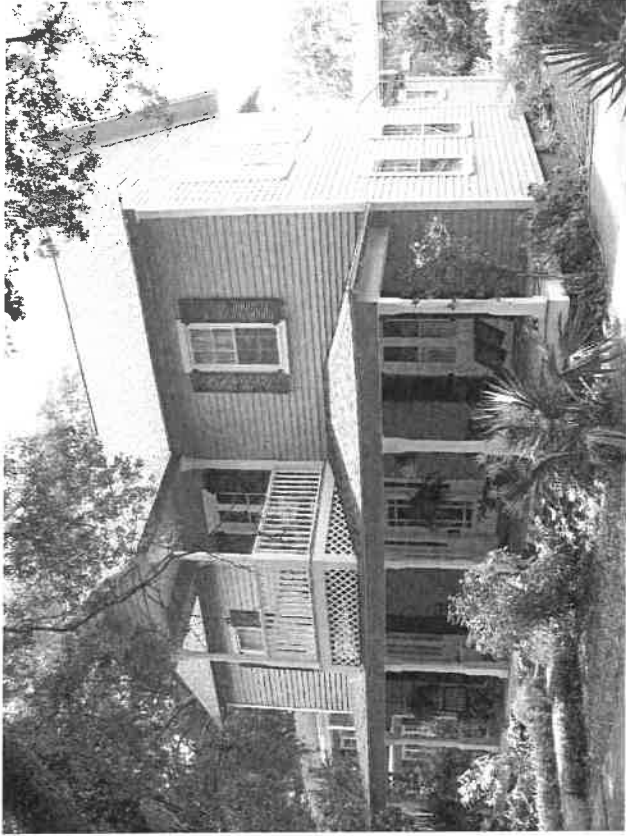


Program Management

Recorded by: Ellen Jenkins (TRC)

Date Recorded: 6/23/2010

191-0256: 221 Cannon Street



Date Filed: _____

ARB Request Form

Appeal #: _____

Description of Request:

Removal of awkward non-historic elements and new one-story addition at side and rear of structure. New construction of a free standing garage with conditioned space above and adjoining porch.

List of materials to be used:

Beveled Cedar siding
Clad windows w/ historic profiles
Asphalt shingle roof (matching existing) and hand crimped standing seam at Acc. structure.
Old Carolina Brick at new fireplace/chimney

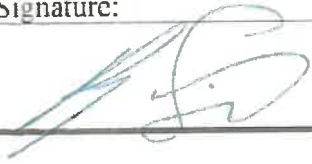
In addition to this application, the following supporting materials have been submitted.

Design drawings include existing and proposed plans and elevations along with images of existing structure notated where elements are to be modified.

I certify that all the information included within this application is accurate and true:

Signature: _____

Date: _____



06/10/2026

FOR OFFICE USE ONLY

Appeal Number: _____

Applicable fee: _____

Date Received: _____

Meeting Date: _____

Code Compliance

Building Code: _____

Flood Code: _____

Zoning Code: _____

Notes:

**CITY OF GEORGETOWN
ARCHITECTURAL REVIEW BOARD
SUBMISSION MATERIALS CHECKLIST**

- Any changes or alterations to the exterior of a structure within the Historic District, as well as the demolition or construction of any building or fence, must be approved by the Architectural Review Board.
- Detailed drawings must be submitted with your completed application form and a \$200 application fee (\$100 for review of required revisions). Late or incomplete submissions will not be considered for that month's meeting agenda. **Please note that all projects will be reviewed by the Building & Planning Department for zoning compliance before being presented to the Architectural Review Board.
- Required materials/samples are listed below and include but not limited to:
 - New Construction/Additions/Renovations/Alterations: Scaled drawings of the front, sides, and rear elevations of all proposed new structures and/or façades to be renovated. A site plan showing the location of existing structures as well as proposed new buildings and/or additions. A landscape plan detailing the location of existing and proposed landscaping. Color samples for brick, shingles, siding, windows, and other materials.
 - Fences/ Walls: A site plan showing the location of fences, walls, and lot lines, along with material samples and design drawings.
- If the Architectural Review Board is not satisfied with your design or requires additional information to make a decision, they will typically allow the applicant to withdraw or defer the application. This does not prevent you from reapplying or submitting additional information at the next meeting.
- If your application is deferred or withdrawn and you wish to present an alternative proposal at the next meeting, you must notify the Building and Planning Department before the deadline. A new application must be submitted, and your item will be listed as "Old Business." New drawings and/or samples must be provided at least one week prior to the meeting.

PLEASE BE AWARE THAT STAFF AND BOARD MEMBERS MAY BE VISITING THE SITE PRIOR TO THE MEETING IN ORDER TO TAKE PICTURES AND MAKE A VISUAL INSPECTION OF THE EXTERIOR.

**CITY OF GEORGETOWN
ARCHITECTURAL REVIEW BOARD
CHECKLIST FOR REQUIRED MATERIALS:**

NEW CONSTRUCTION/ADDITIONS/RENOVATIONS/ALTERATIONS:

- Elevation and design drawings to scale showing front, sides and rear of all proposed new structures and/or facades proposed to be renovated.
- Site plan illustrating the location of existing structures and proposed new structure and/or additions
- Landscape plan
- Color samples of paint, building materials including windows, Shingles, lighting plan, etc.

FENCES/ WALLS:

- Site Plan showing location of fence/ wall
- And lot lines
- Material Samples
- Design drawings

Please email this application to planning@georgetownsc.gov or submit in person to the Planning Department within City Hall, located at 1134 N Fraser St Georgetown SC.



221 Cannon Street
Georgetown, SC 29440
TMS # 05-0030-178-00-00
June 10th, 2026

DESCRIPTION OF PROPOSED WORK

The applicant is proposing a renovation and minor addition to the existing, historic structure at 221 Cannon Street, as well as a proposed free standing garage structure.

The majority of the work on the main house is being proposed at the rear and side of the existing structure, affecting primarily an existing addition that was not original to the historic structure. This proposal is in keeping with the recommendations made by the Secretary of the Interior's Standards for the Treatment of Historic Properties, including:

- Locating the proposed work to the rear of the existing historic structure
- Disturbing as little historic fabric as possible, by limiting work to areas already disturbed with non-historic building material
- Maintaining a clear hierarchy by making any additions subordinate in massing and scale of the historic structure
- Using forms, materials and colors that complement but do not seek to duplicate the historic building

The proposed renovation and addition includes removing an awkward infill corner, renovating the existing kitchen and adding a powder room to restore the lower level bedroom to a contained suite. The addition is one story that will utilize the existing rear porch roof maintain it as a secondary element in relation to the original structure.

The proposed garage structure is located at the rear of the property and has been requested by the homeowner to provide added storage and a space to play/record music. This potentially could have been achieved by a larger addition to the main house but we opted to keep the work to that structure to a minimum in keeping with the standards above.

All of the work will be performed using traditional materials that are sympathetic to, and complement the historic building, and are in keeping with the character of the historic district of Georgetown.

We welcome any questions the board may have, and thank you for your consideration.

Sincerely,

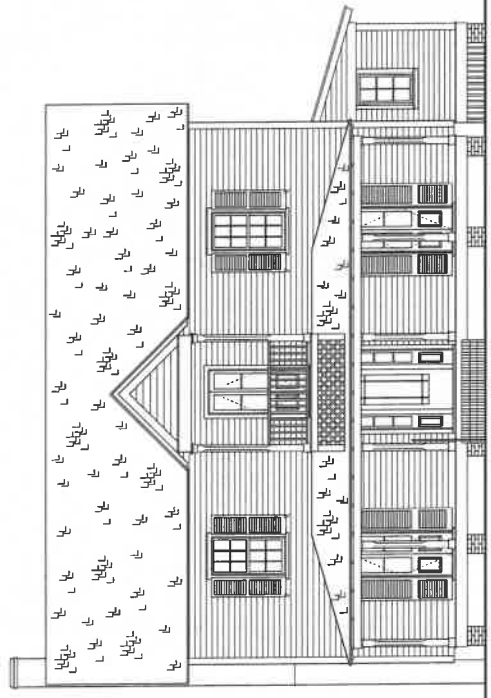
Beau Clowney Architects

OWNER PHILIP & REBECCA LAMMONDS

INDEX ARCHITECTURAL
 T.1.0 TITLE SHEET

- PH 1.1 SANDBORN MAPS
 - PH 1.2 HISTORIC & EXISTING IMAGES
 - A.0.1 ARCHITECTURAL SITE PLAN
 - A.1.1 FIRST FLOOR PLANS
 - A.1.2 SECOND FLOOR PLANS
 - A.1.3 ROOF PLANS
 - A.1.4 GARAGE FLOOR PLANS
 - A.2.1 EXTERIOR ELEVATIONS
 - A.2.2 EXTERIOR ELEVATIONS
 - A.2.3 EXTERIOR ELEVATIONS
 - A.2.4 EXTERIOR ELEVATIONS
 - A.2.5 GARAGE EXTERIOR ELEVATIONS
- PROPOSED MATERIALS

- GENERAL NOTES**
1. THE DRAWINGS AND DETAILS ARE THE PROPERTY OF BEAU CLOWNEY ARCHITECTS, LLC. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF BEAU CLOWNEY ARCHITECTS, LLC.
 2. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS TO BEAU CLOWNEY ARCHITECTS, LLC'S ARCHITECTURAL DRAWINGS.
 3. ALL DEMOLITION AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
 4. ALL EXISTING STRUCTURES AND MATERIALS TO BE DEMOLISHED SHALL BE DEMOLISHED TO A MINIMUM OF 12" ABOVE FINISHED GRADE.
 5. CONTRACTOR SHALL VERIFY WITH OWNER/ARCHITECT ALL EXISTING CONDITIONS AND MATERIALS TO BE DEMOLISHED OR RECONSTRUCTED.
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LAMMONDS RESIDENCE

221 CANNON STREET
 GEORGETOWN, SC

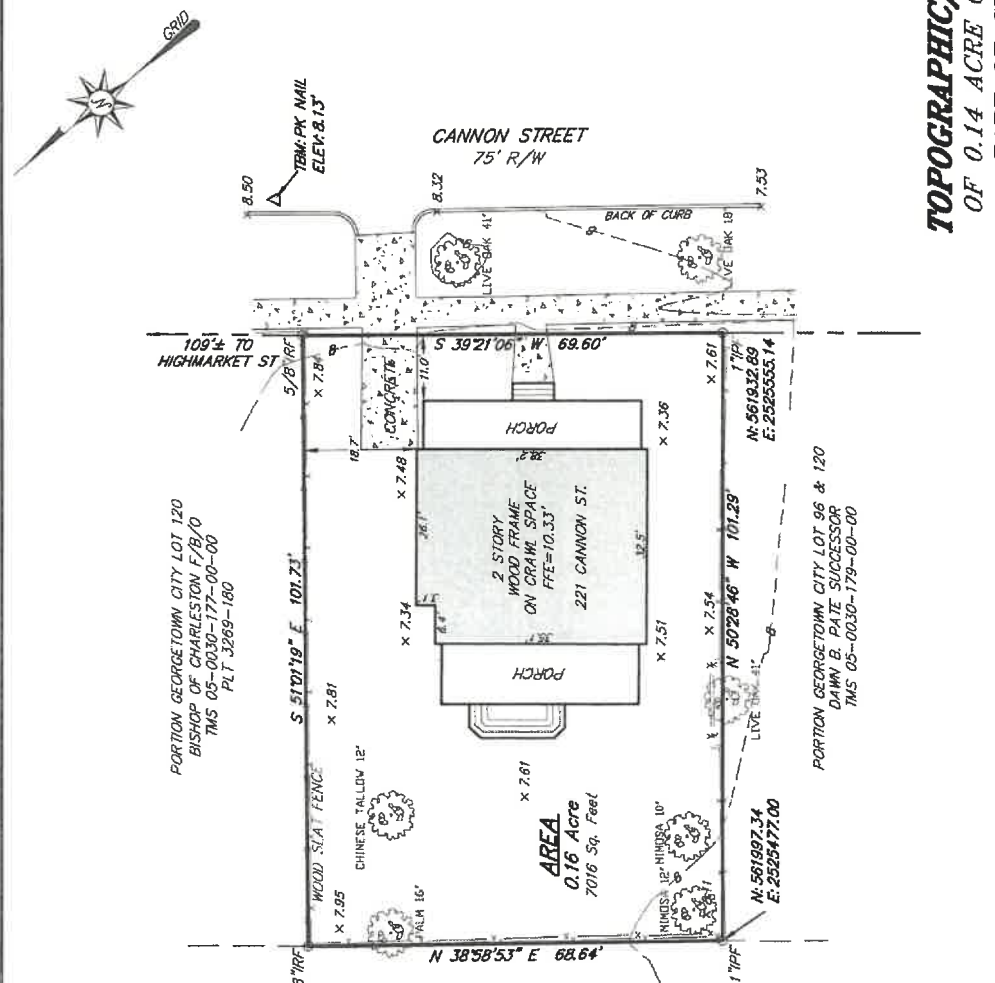
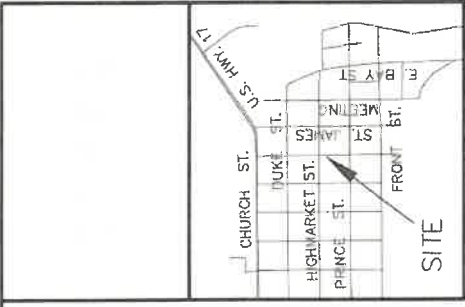
ISSUED FOR REVIEW

BEAU CLOWNEY
 ARCHITECTS

201 W. B STREET
 CHARLESTON, SC 29401
 803.739.2667

LAMMONDS RESIDENCE
 TITLE PAGE
 06.10.20

T.1.0



LEGEND
 I.P.F. - IRON PIPE FOUND
 I.P.S. - IRON PIPE SET
 I.R.C. - IRON REBAR/ROD FOUND
 I.R.S. - IRON REBAR/ROD SET

TOPOGRAPHIC/TREE SURVEY
 OF 0.14 ACRE OF LAND BEING
 PART OF CITY LOT 120,
 SURVEYED FOR

REBECCA LAMMONDS

LOCATED IN THE CITY OF GEORGETOWN,
 GEORGETOWN COUNTY, SOUTH CAROLINA
 DATE: DECEMBER 29, 2025

- REFERENCES:**
1. PLAT BOOK 3242, PAGE 146.
 2. DEED BOOK 3658, PAGE 163.
 3. GEORGETOWN COUNTY TAX MAP 05-0030-178-00-00.

- NOTES:**
1. THIS PROPERTY IS LOCATED IN FLOOD ZONE AE-10, PER F.I.R.M. COMMUNITY PANEL 45043C 0485 G, REVISED 05/09/2023.
 2. OWNER OF RECORD: WILLIAM H. BOTO
221 CANNON STREET
GEORGETOWN, SC 29440
 3. ZONED: R4
BUILDING SETBACKS: FRONT = 25'
SIDE = 8'
REAR = 10'

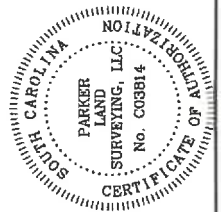
- * SETBACKS TO BE VERIFIED BY THE CITY OF GEORGETOWN (AND IF APPLICABLE, VERIFIED BY APPROPRIATE HOA OR AEB).
4. THIS PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD. NO TITLE SEARCH PERFORMED BY THIS OFFICE.
 5. THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON(S) OR ENTITY APPEARING ON SAID SURVEY. THIS SURVEY DOES NOT EXTEND TO ANY UNNAMED PERSON(S) OR ENTITY WITHOUT AN EXPRESSED RECERTIFICATION BY PARKER LAND SURVEYING, LLC.
 6. THIS SURVEY IS NULL AND VOID IF SIGNATURE AND EMBOSSED SEAL ARE ABSENT.
 7. ALL BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON SOUTH CAROLINA STATE PLANE COORDINATE SYSTEM 1983. DISTANCES SHOWN HEREON ARE HORIZONTAL (GROUND) DISTANCES. NOT GRID DISTANCES.
 8. ELEVATIONS SHOWN ARE NAD 88 DATUM.

119 GEORGETOWN B APARTMENTS
 WACCAMAW LAND, LLC
 TMS 05-0030-176-00-00

I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON HAS BEEN MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS E SURVEY AS SPECIFIED THEREIN.

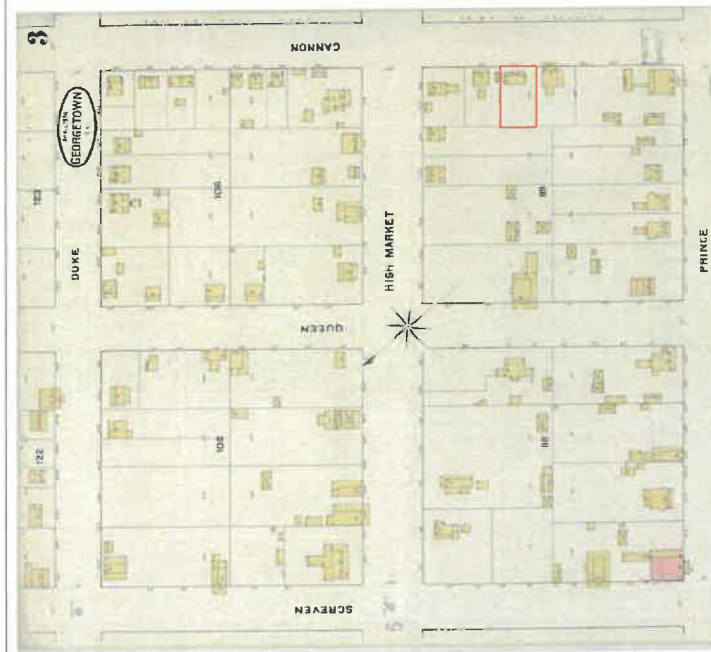
PARKER LAND SURVEYING, LLC
 1000 CHURCH STREET
 GEORGETOWN, SC 29440
 PHONE: (843) 485-1465
 JOB #: C18-080 P.L.G.

GREGORY F. CANNON, S.C.P.L.S. No. 17824
 No. 17824
 SOUTH CAROLINA SURVEYING BOARD

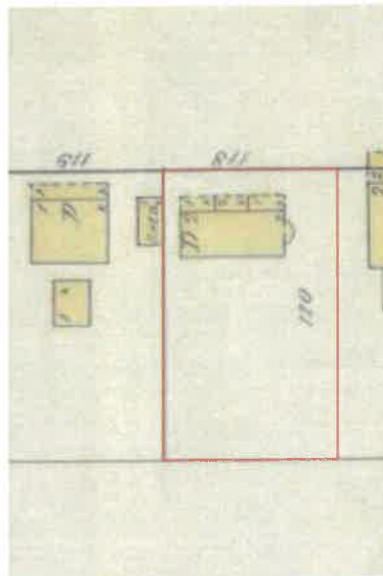


EXISTING LOT OF RECORD
 CERTIFIED TO BE A RESURVEY OF A PRECE PARCEL
 OR LOT OF LAND SHOWN ON A MAP OR PLAT PREVIOUSLY
 RECORDED IN GEORGETOWN COUNTY IN PLAT
 BOOK 3242, PAGE 146.

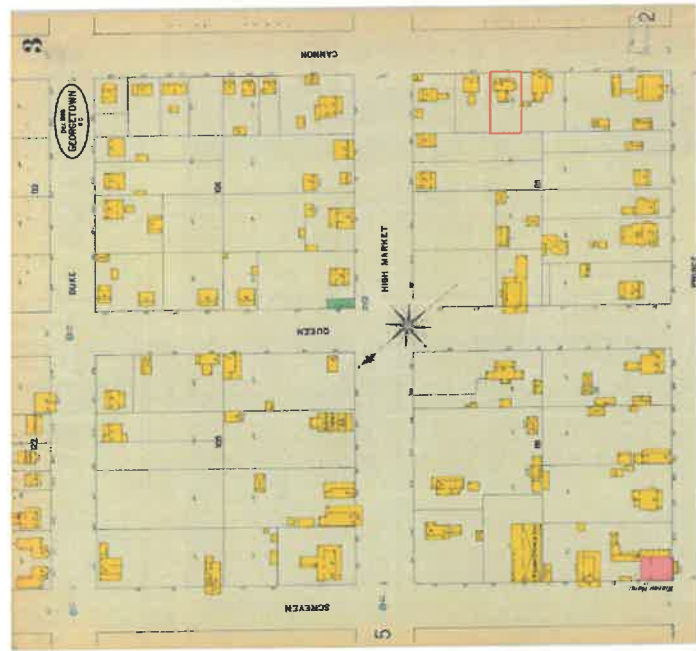
0 10 20 30 40 50 60 70 80
 ONE INCH = 20'



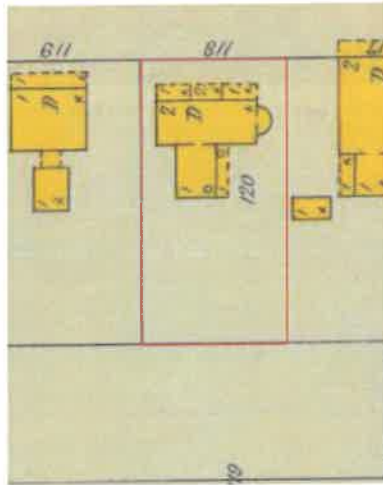
1894 Sandborn Map



1894 Sandborn Map - Enlarged



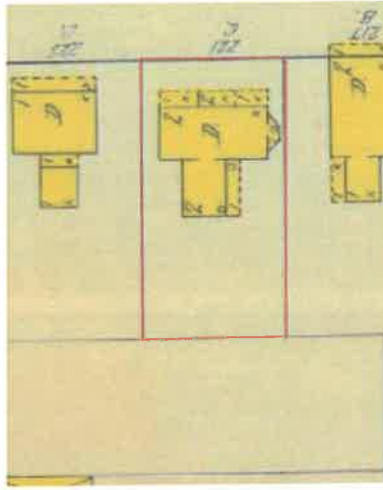
1899 Sandborn Map



1899 Sandborn Map - Enlarged



1913 Sandborn Map



1899 Sandborn Map - Enlarged



221 Cannon Street - Circa 1972



221 Cannon Street - Circa 2026



Remove non-historic one-story infill



Remove non-historic one-story infill



Remove non-historic one-story infill



Rear Elevation - Replace upper windows to match light divisions at original structure



Repair existing brick as necessary



Relocate existing electrical panel

Historic & Existing Images

BEAU CLOWNEY
ARCHITECTS

WALL LEGEND:
 [Pattern] NEW WOOD WALLS
 [Pattern] EXISTING WALLS

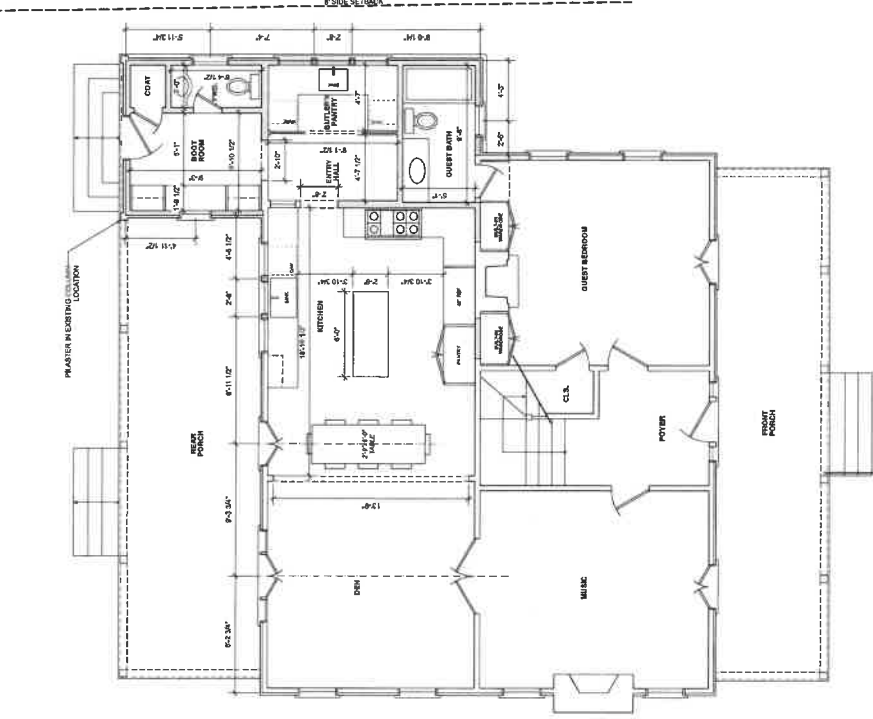
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BEAU CLOWNEY
 ARCHITECTS

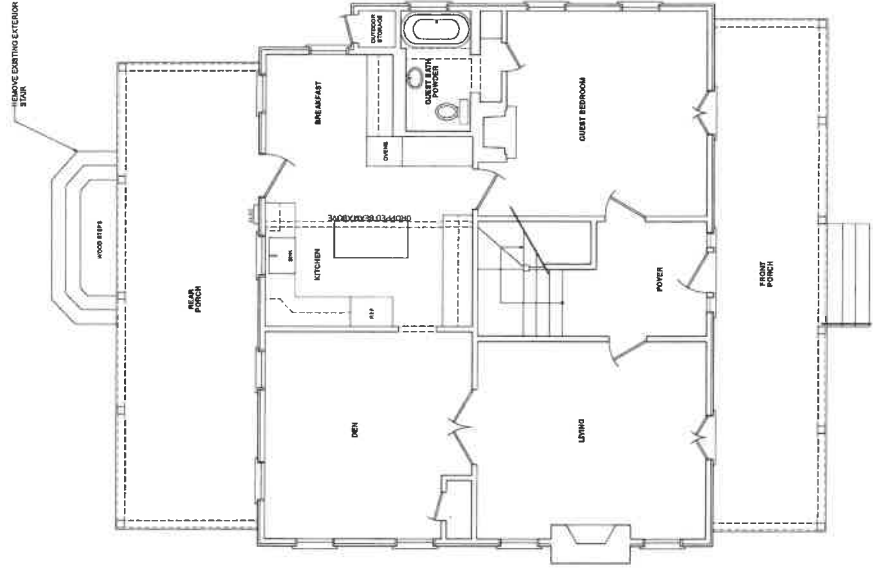
1 KING STREET
 CHARLESTON, SC 29401
 803.732.2560

06.10.20
 LAMMONS RESIDENCE
 221 CANNON STREET
 CHARLESTON, SC 29401
 FIRST FLOOR PLANS

A11



PROPOSED FIRST FLOOR PLAN



EXISTING FIRST FLOOR PLAN

WALL LEGEND:
 [Solid Line] NEW WOOD WALLS
 [Dashed Line] EXISTING WALLS

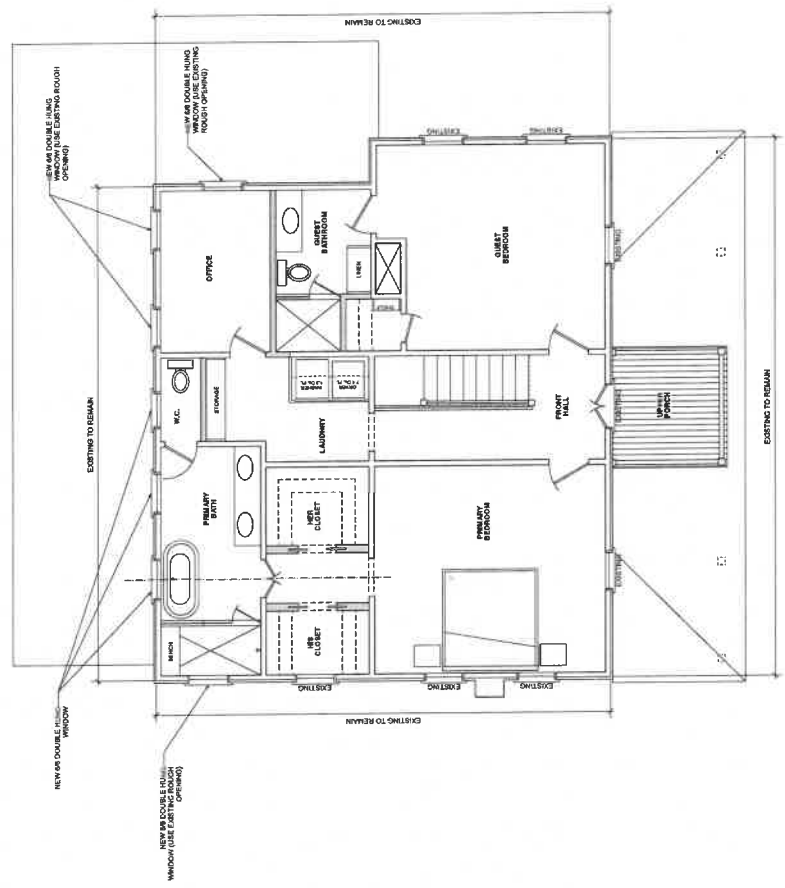
SCALE: 1/4" = 1'-0"

BEAU CLOWNEY
 ARCHITECTS

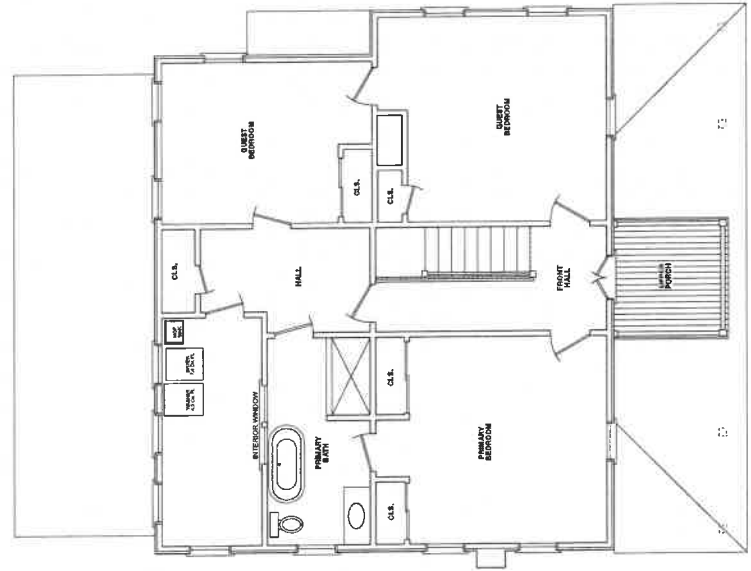
1100 W. UNIVERSITY AVENUE, SUITE 100
 CHARLOTTE, NC 28202-3441

DATE: 10.26
 LAMOND'S RESIDENCE
 2500 W. UNIVERSITY AVENUE
 SEVENTH FLOOR
 SECOND FLOOR PLANS

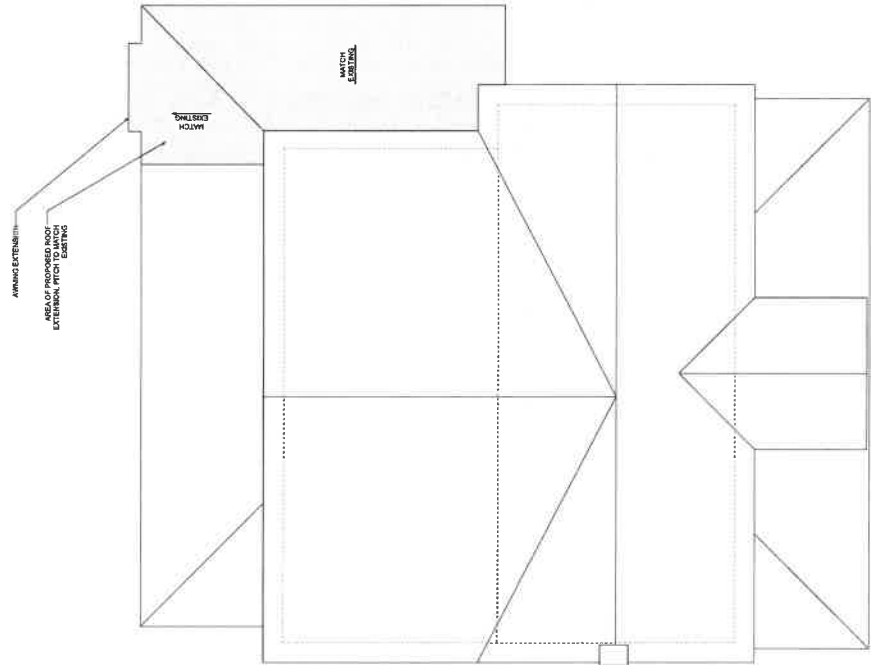
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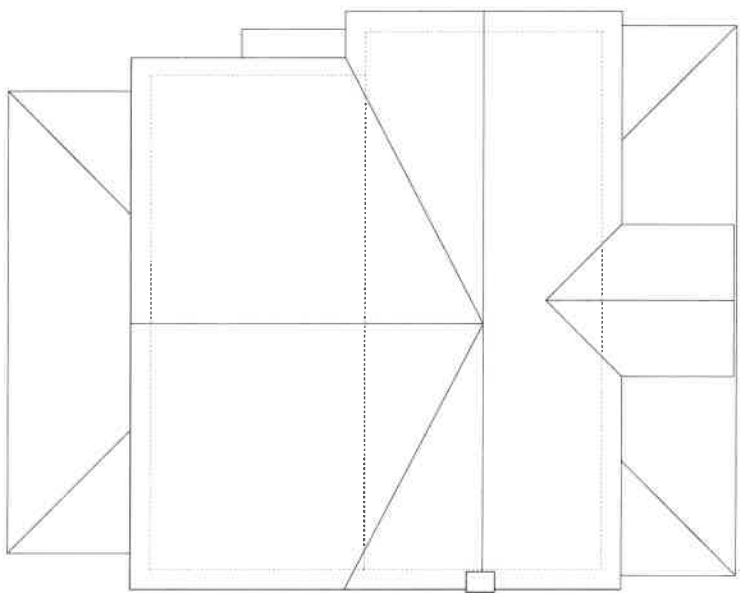
PROPOSED SECOND FLOOR PLAN



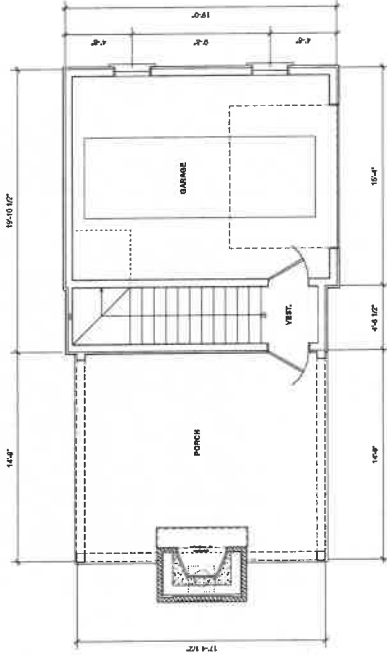
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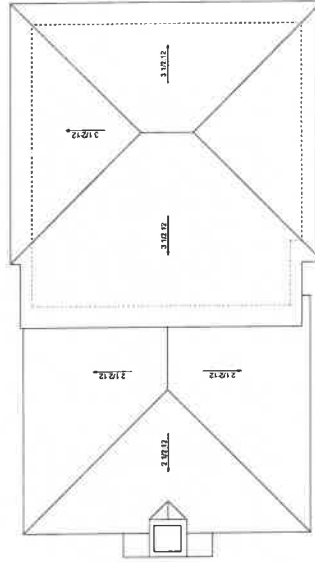
PROPOSED ROOF PLAN



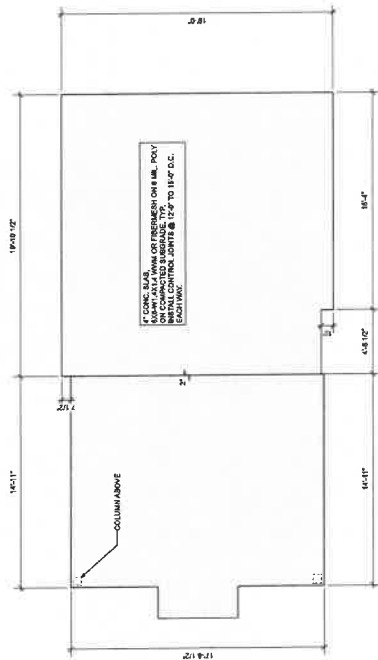
EXISTING ROOF PLAN



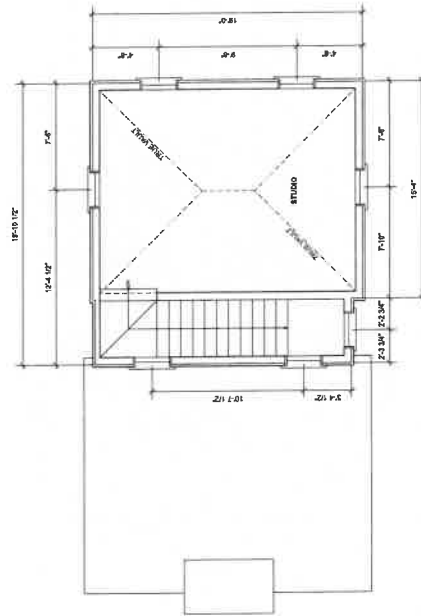
MAIN LEVEL PLAN



GARAGE ROOF PLAN



GARAGE FOUNDATION PLAN



GARAGE UPPER LEVEL PLAN

SCALE: 1/4" = 1'-0"

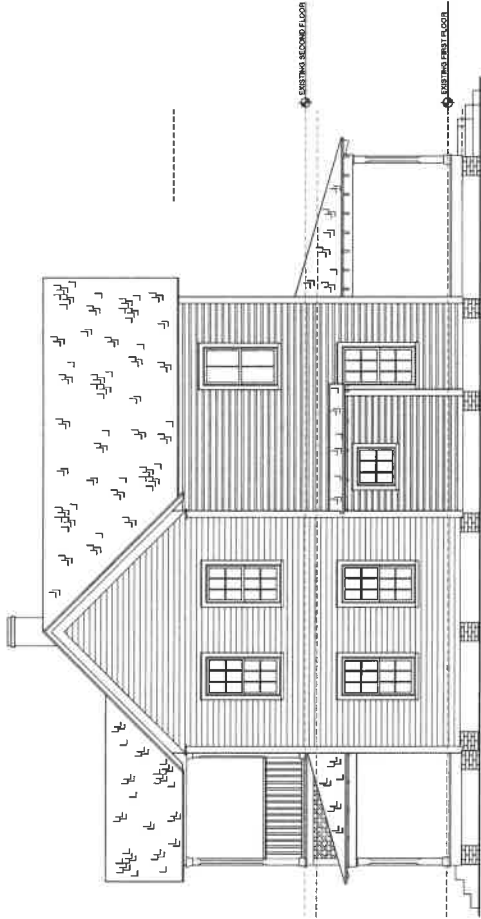
BEAU CLOWNEY
 ARCHITECTS

1000 PEACHTREE STREET, NE
 SUITE 1000
 CHARLES TOWN, WV 26030

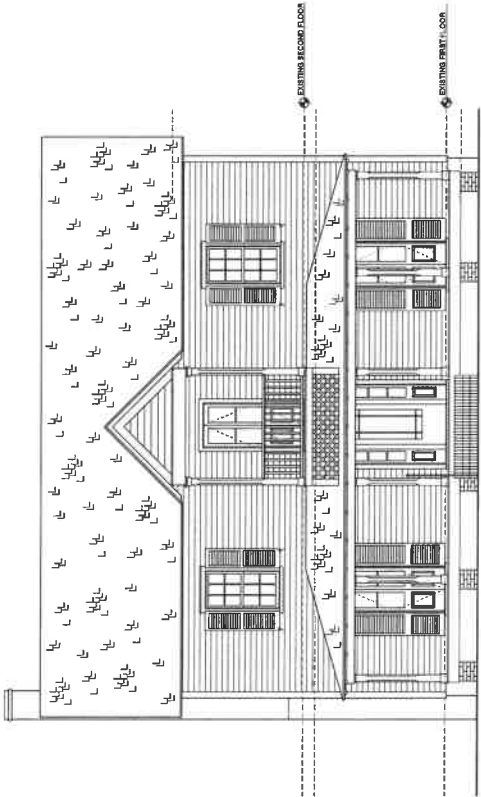
06.10.09

LAMMONS RESIDENCE
 2000 W. STATE STREET
 GEORGETOWN, SC
 GARAGE FLOOR PLANS

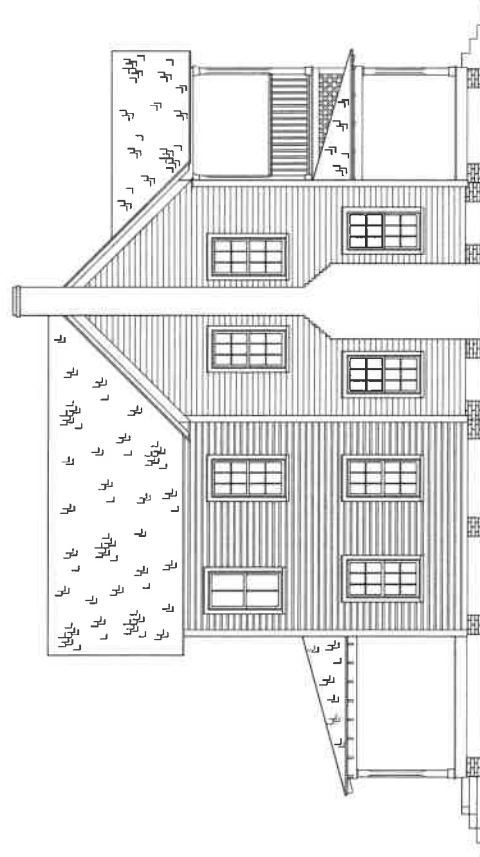
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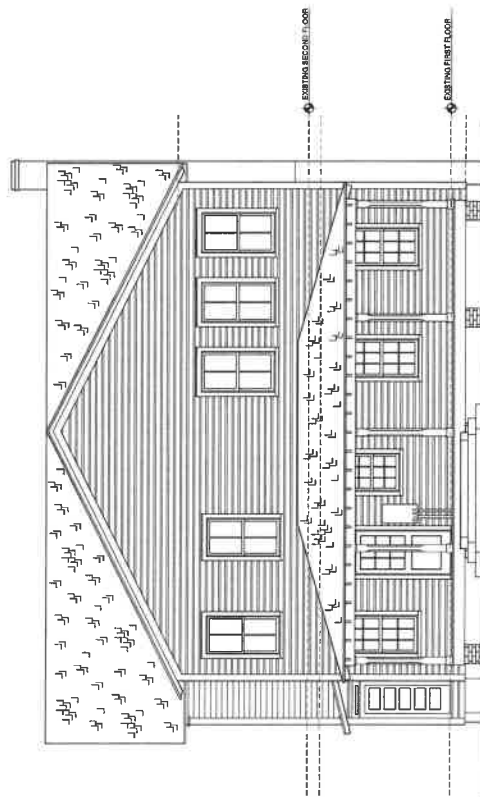
EXISTING FRONT ELEVATION



EXISTING REAR ELEVATION



EXISTING SIDE ELEVATION



EXISTING SIDE ELEVATION



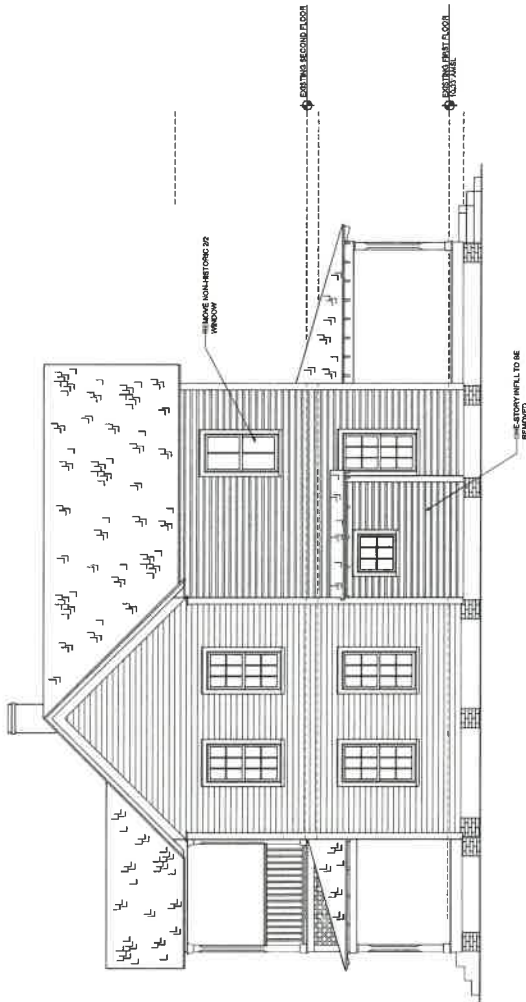
EXISTING FRONT ELEVATION



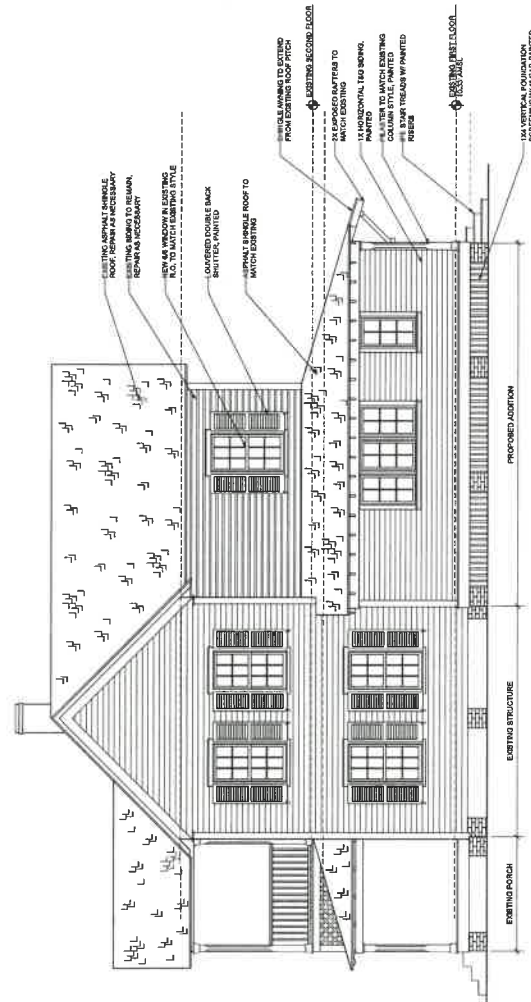
EXISTING FRONT ELEVATION

SCALE: 1/8" = 1'-0"
 BEAU CLOWNEY ARCHITECTS
 KING STREET
 CHARLESTON, SC 29401
 803.722.1247
 06.10.20

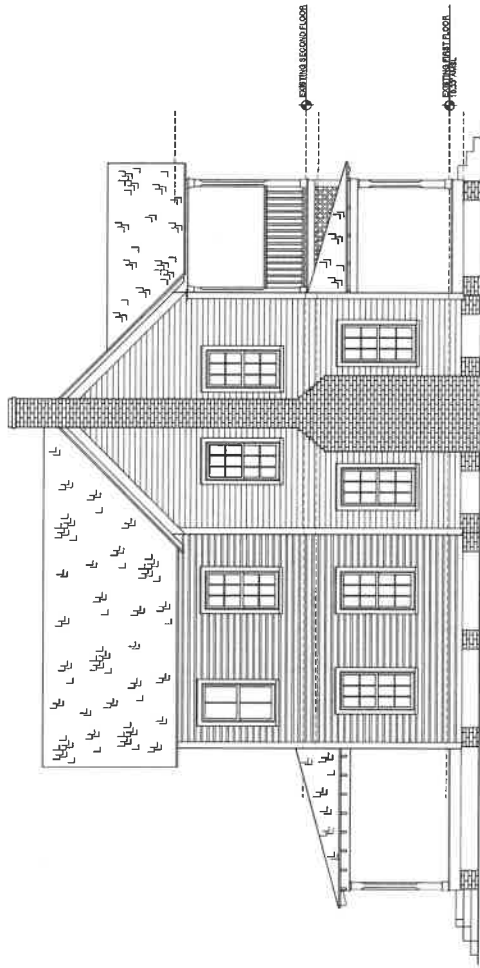
LAMMONS RESIDENCE
 221 CANNON STREET
 EXTERIOR ELEVATIONS
A2.1



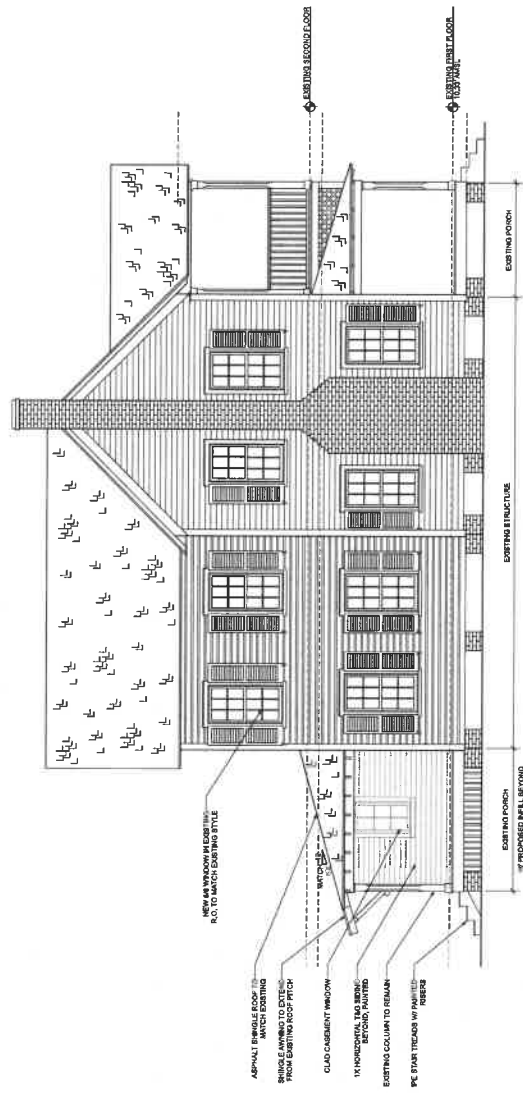
EXISTING R. SIDE ELEVATION



PROPOSED R. SIDE ELEVATION



EXISTING L-SIDE ELEVATION



PROPOSED L-SIDE ELEVATION

SCALE: 1/8"=1'-0"

BEAU CLOWNEY
 ARCHITECTS

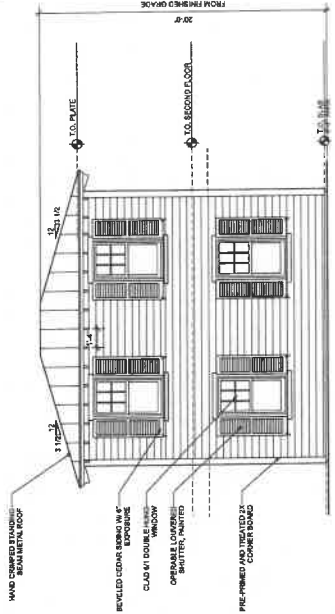
1 KING STREET
 CHARLESTON, SC 29401
 803.722.2940

OK 10.20

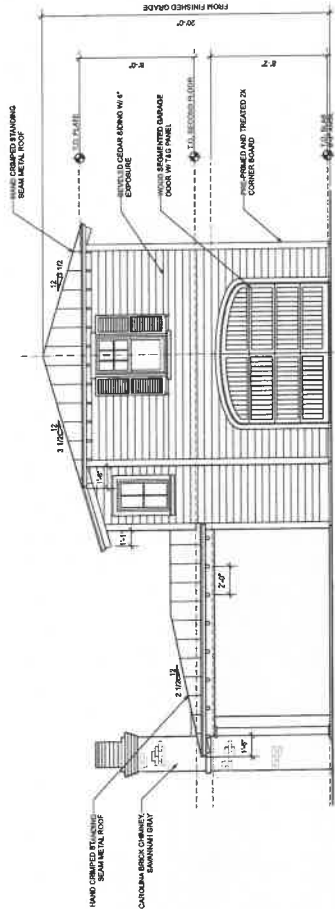
LAMARUS S. RESIDENCE
 221 CANNON STREET
 CHARLESTON, SC 29401
 EXTERIOR ELEVATIONS

A2.4

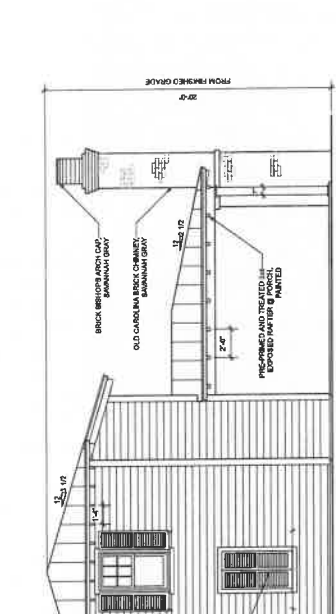
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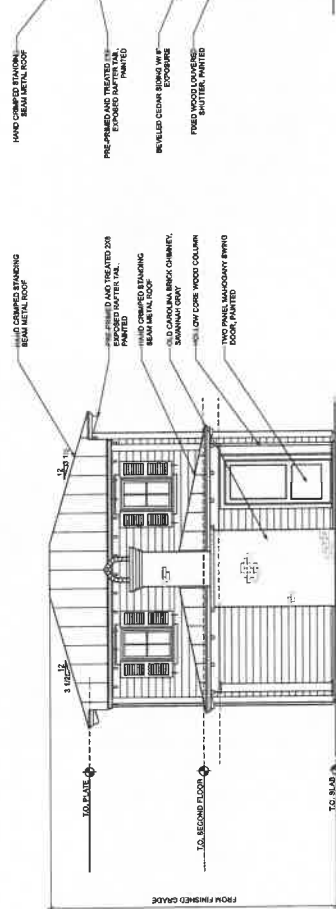
GARAGE
 FRONT ELEVATION



GARAGE
 RIGHT SIDE ELEVATION



GARAGE
 FRONT ELEVATION



GARAGE
 LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"
 BEAU CLOWNEY
 ARCHITECTS
 3011 G STREE
 CHARLESTON, SC 29401
 803.733.8882

06.10.26
 LAMMONS RESIDENCE
 321 CANNON STREET
 GARAGE ELEVATIONS

A2.5



Beveled Cedar Siding w/ 6" exposure
Wood louvered shutters w/ S-hook holdback
1x4 Ipe Decking



Dark hand crimped standing seam metal roof at
proposed Garage